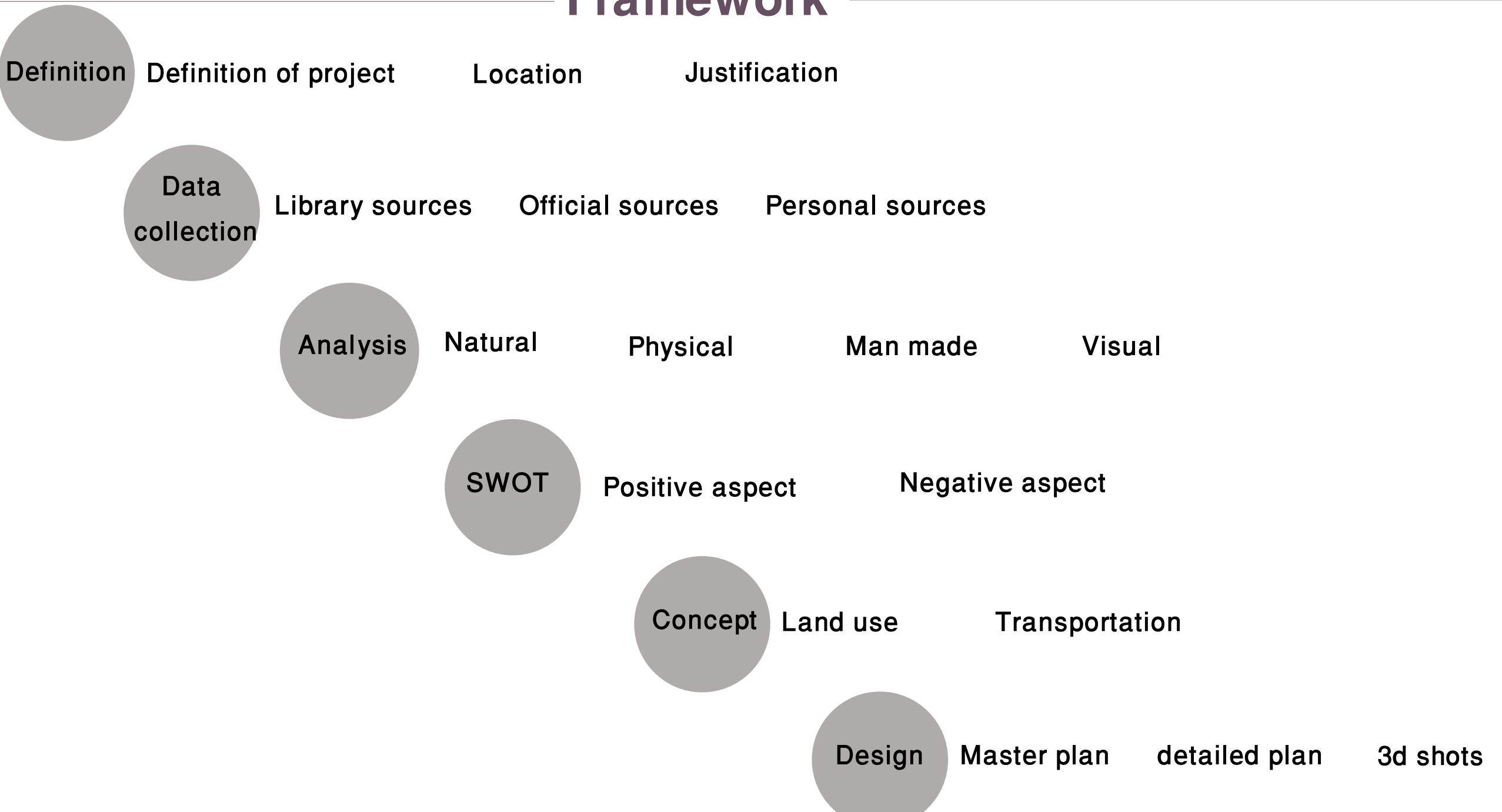


# **Redevelopment of Huwara-Nablus street**

**Name :Areej fatayer**

# Framework



# Framework

Definition

Definition of project

Location

Justification

Data collection

Library sources

Official sources

Personal sources

Analysis

Natural

Physical

Man made

Visual

SWOT

Positive aspect

Negative aspect

Concept

Land use

Transportation

Design

Master plan

detailed plan

3d shots

# Project Definition

(urban and transportation planning)

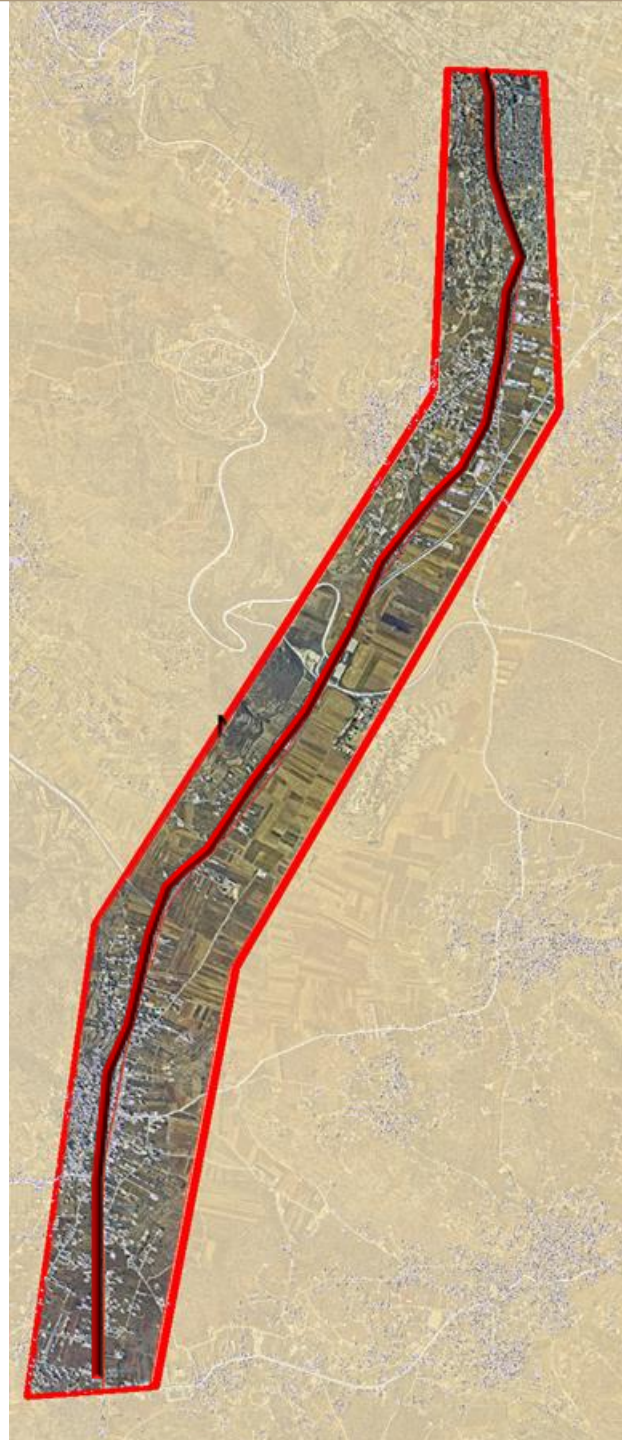
Land use & Transportation planning  
To improve and sustain street activity

20 years

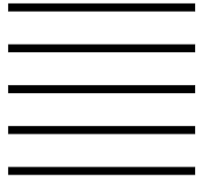
# Location



— 9 km —



# Justifications



Entrance of Nablus

Major Arterial Highway connects between  
North and Middle of west bank

High traffic volume

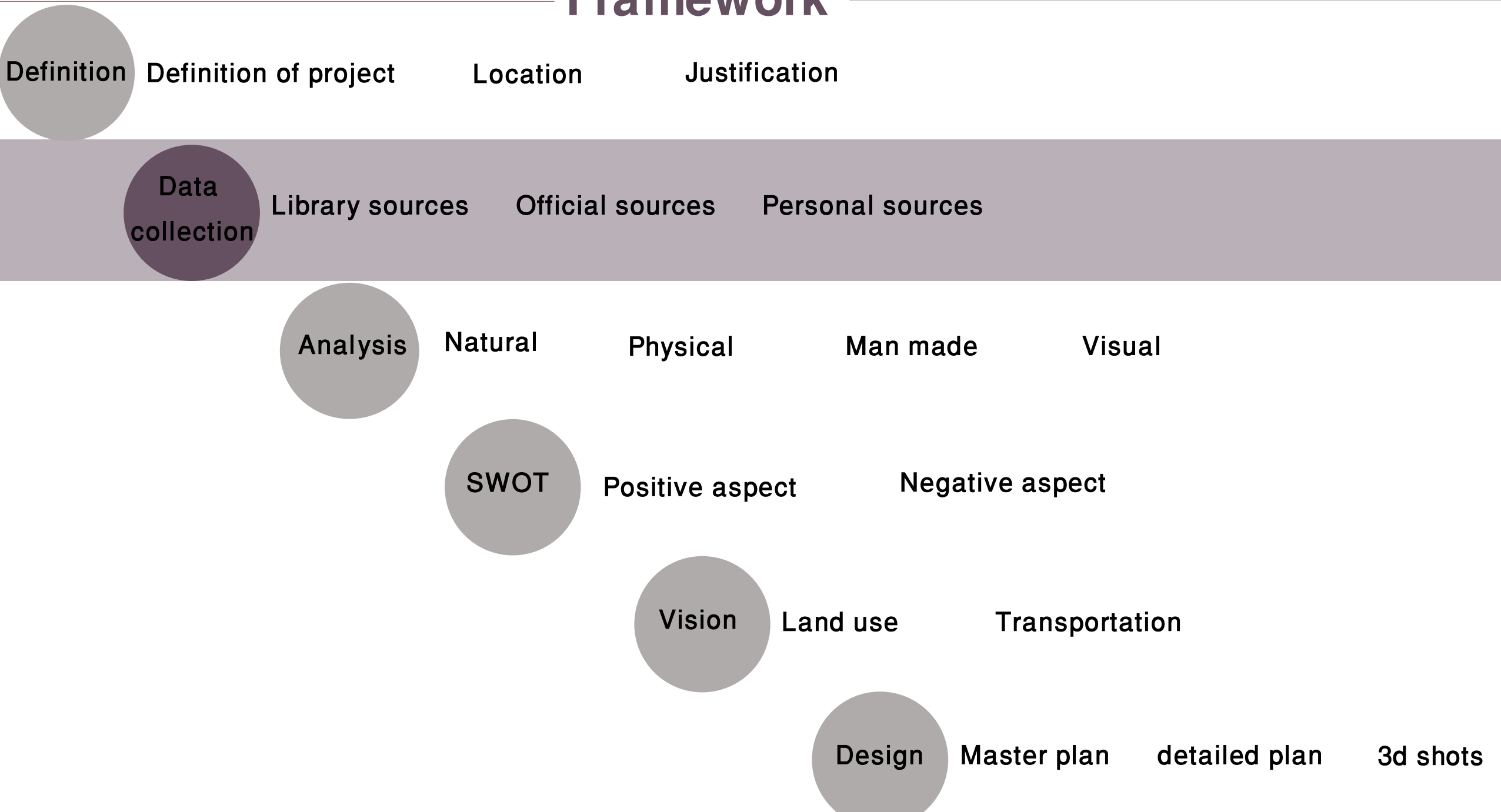
Existing congestion and delay issues

Huwara checkpoint

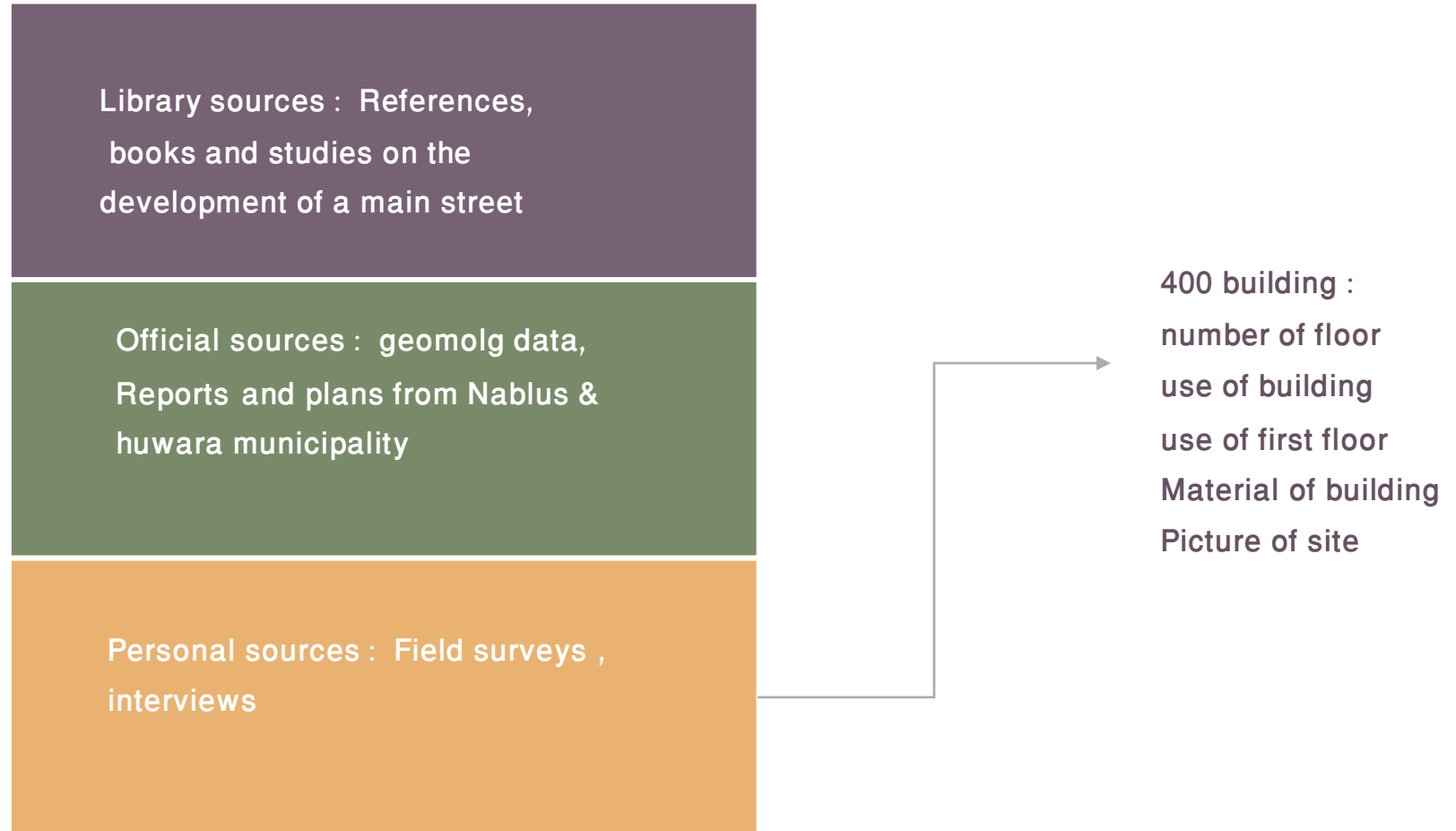
Geopolitical situation

Infringement in street

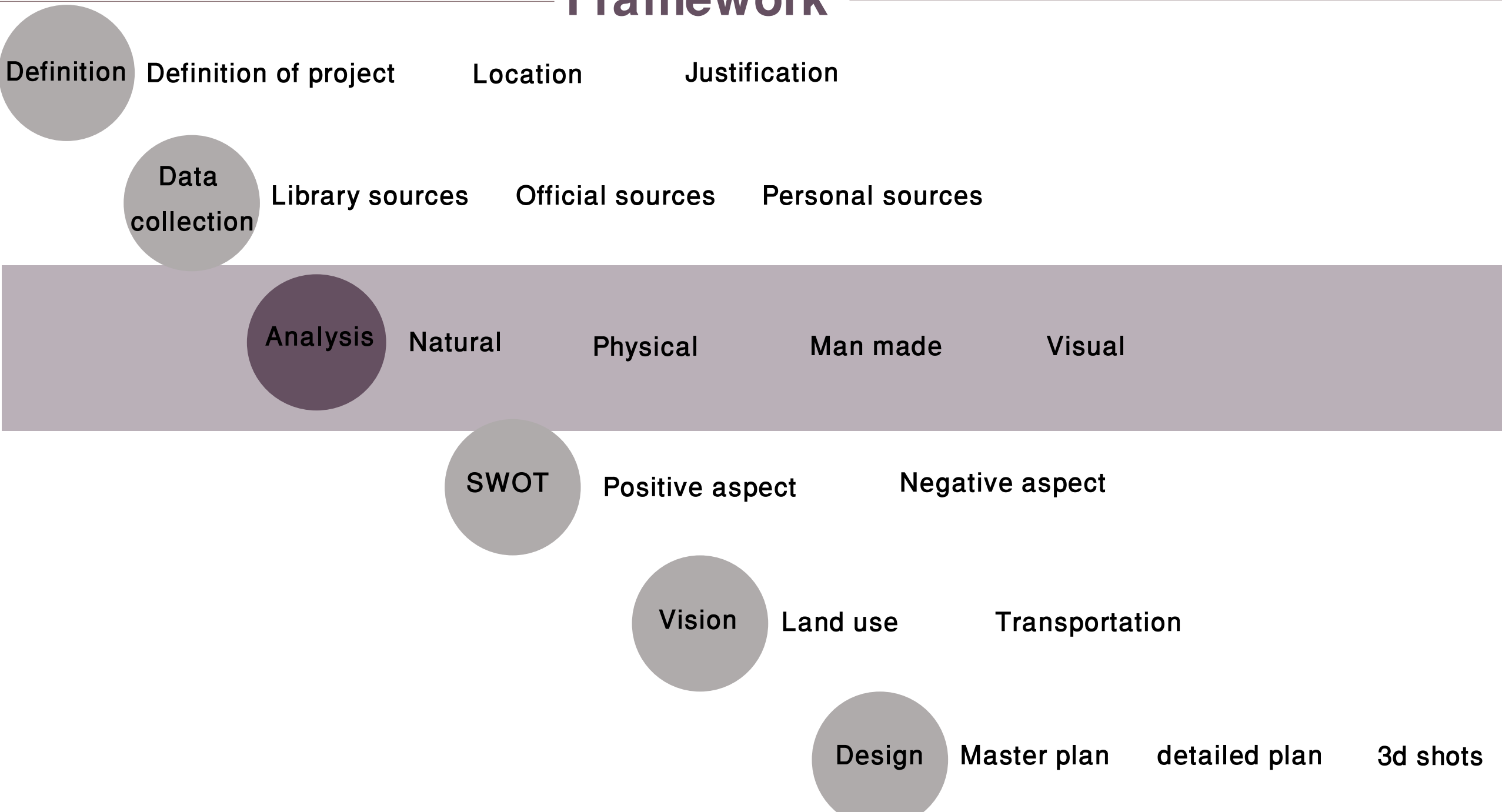
# Framework

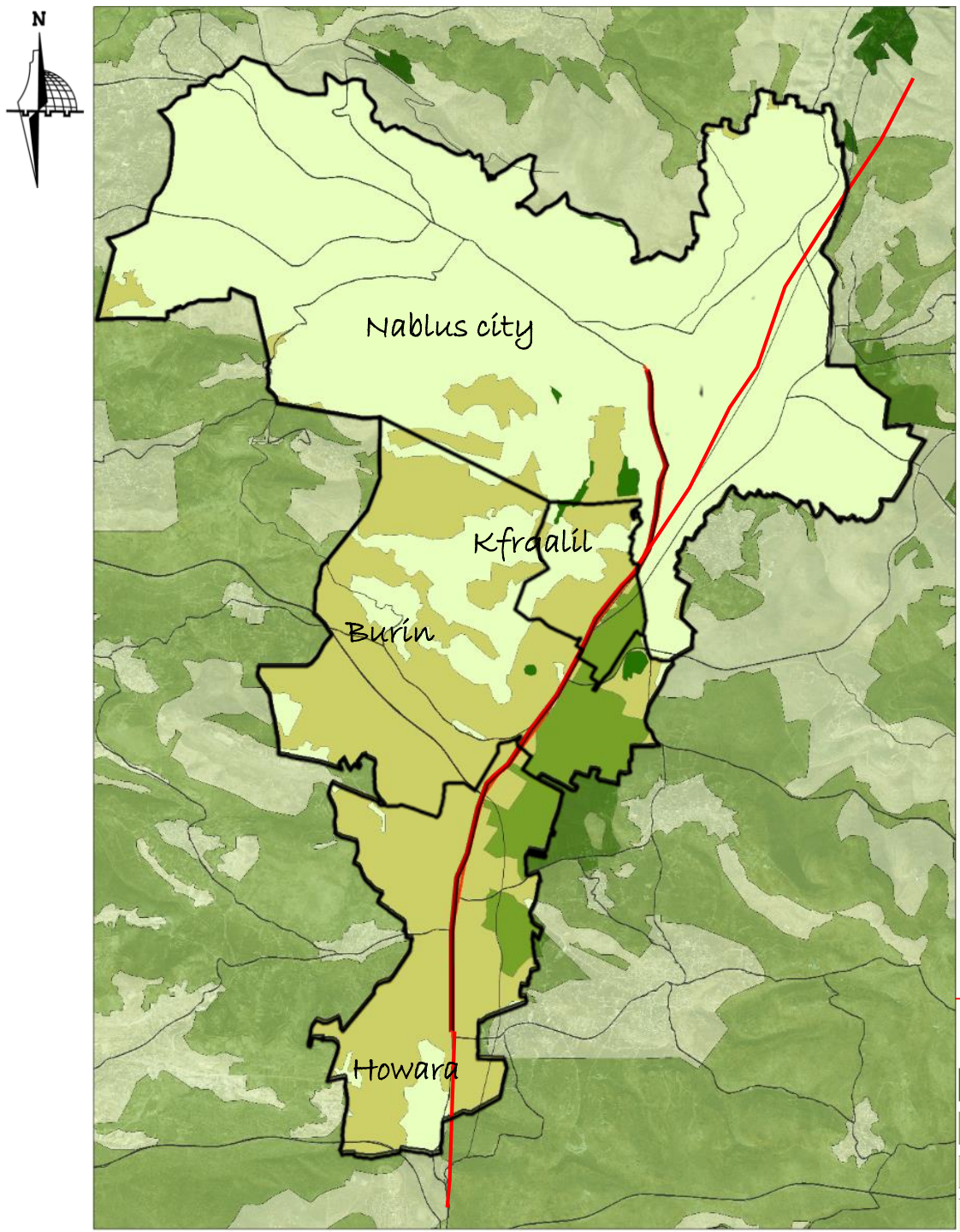


# Data collection



# Framework





**Legend**

- Study street
- Road
- regional street
- Agriculture land
  - Forest
  - high agriculture value
  - Medium agriculture value
  - Low agriculture value

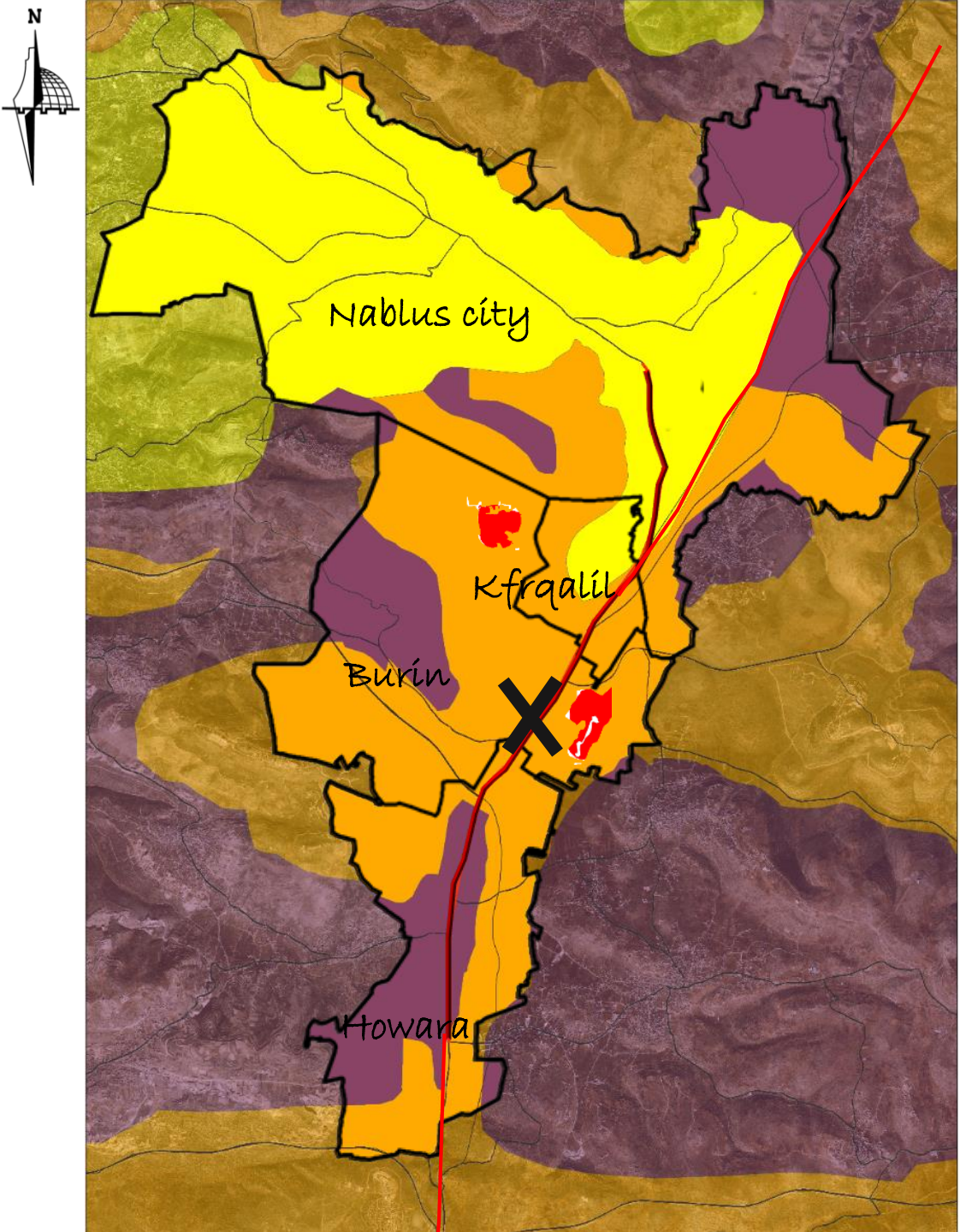
# Agriculture land value

agriculture plain is one of the largest plains of the west bank

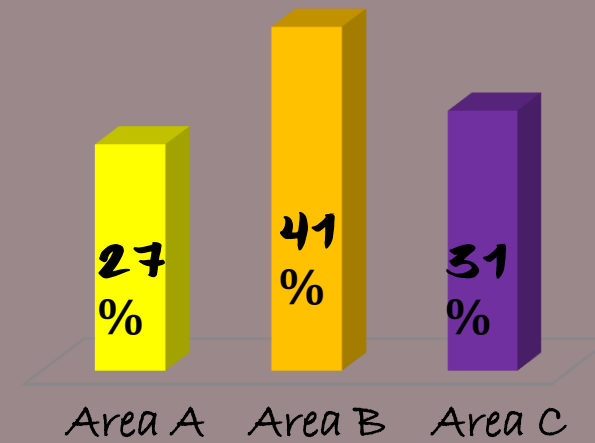
4000 donum



Agriculture investment & job Opportunities



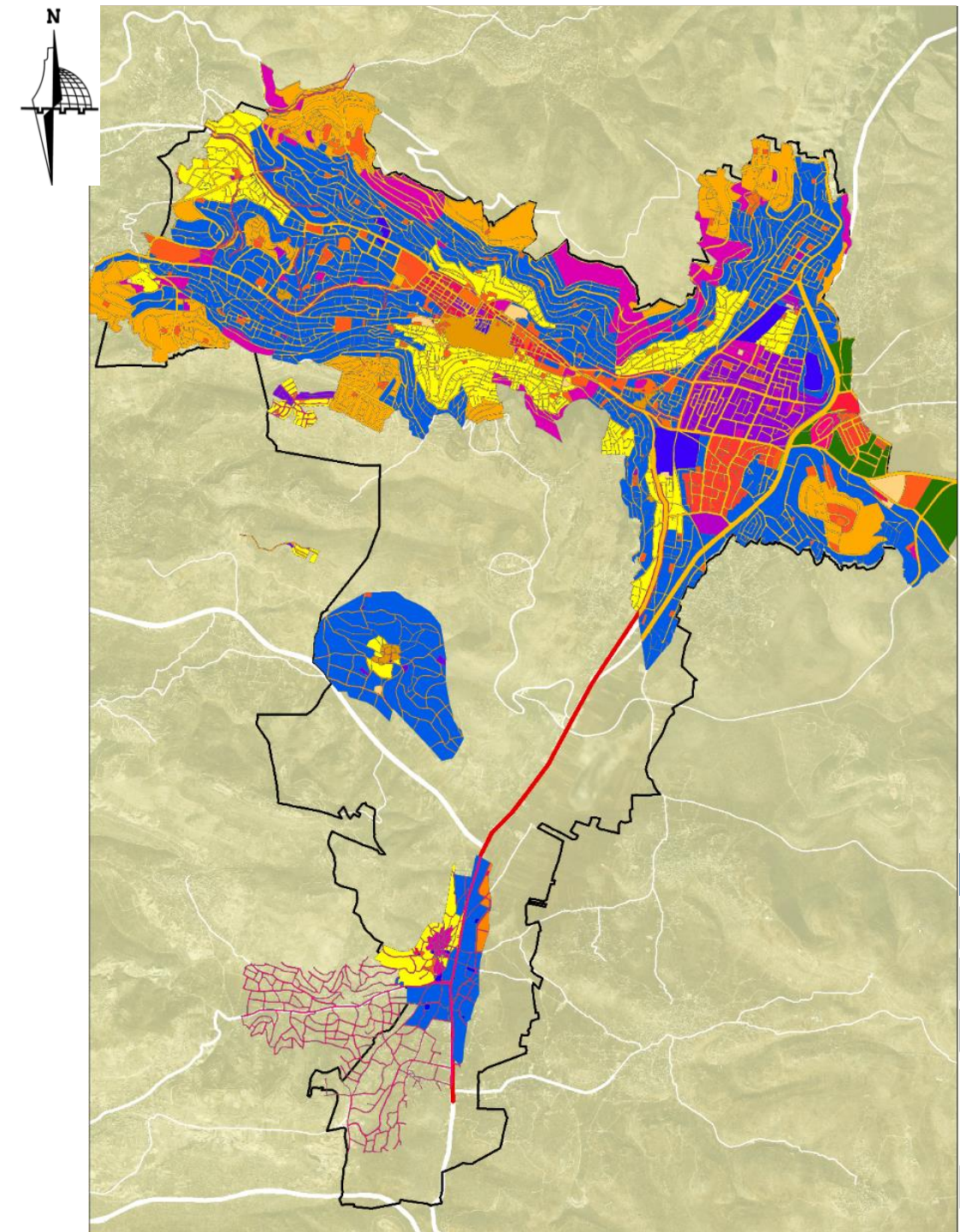
## Geopolitical situation



Huwara checkpoint



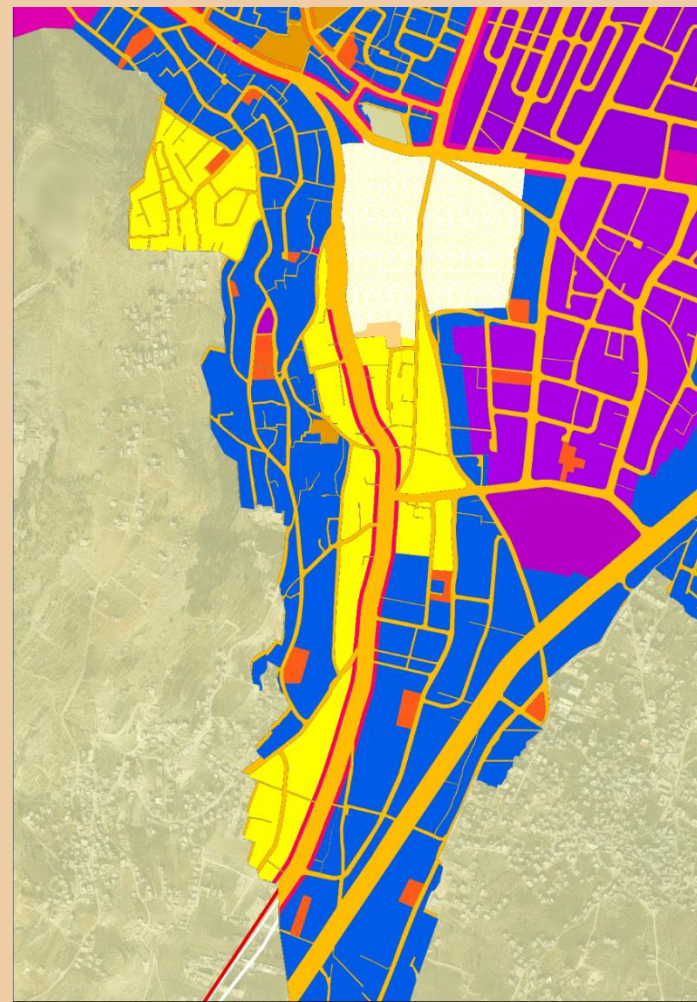
Separate north from the middle

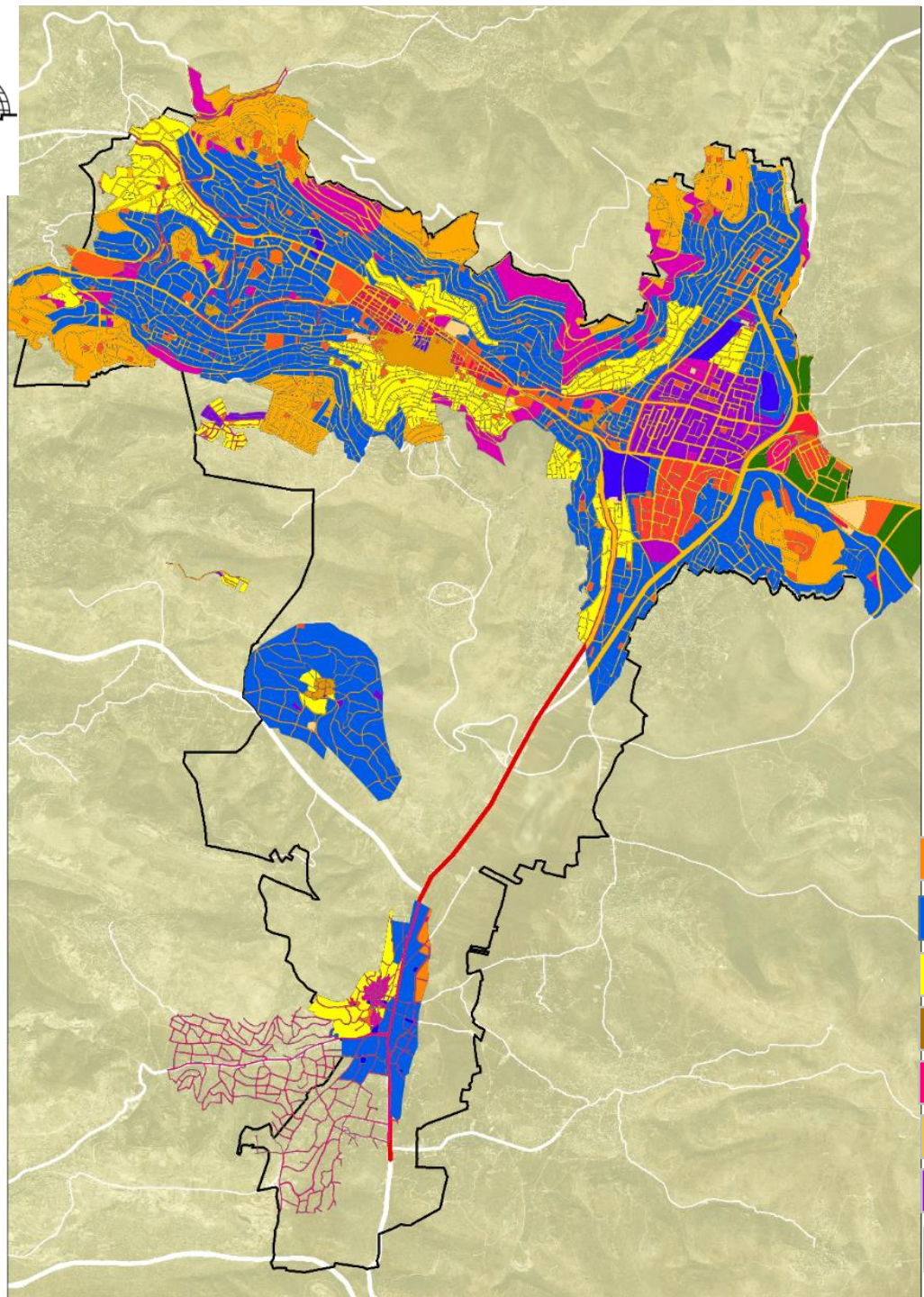


### Legend land use

-  Residence "A"
-  Residence "B"
-  Residence "C"
-  Old town
-  proposed road
-  Approved road
-  Industrial
-  Commercial

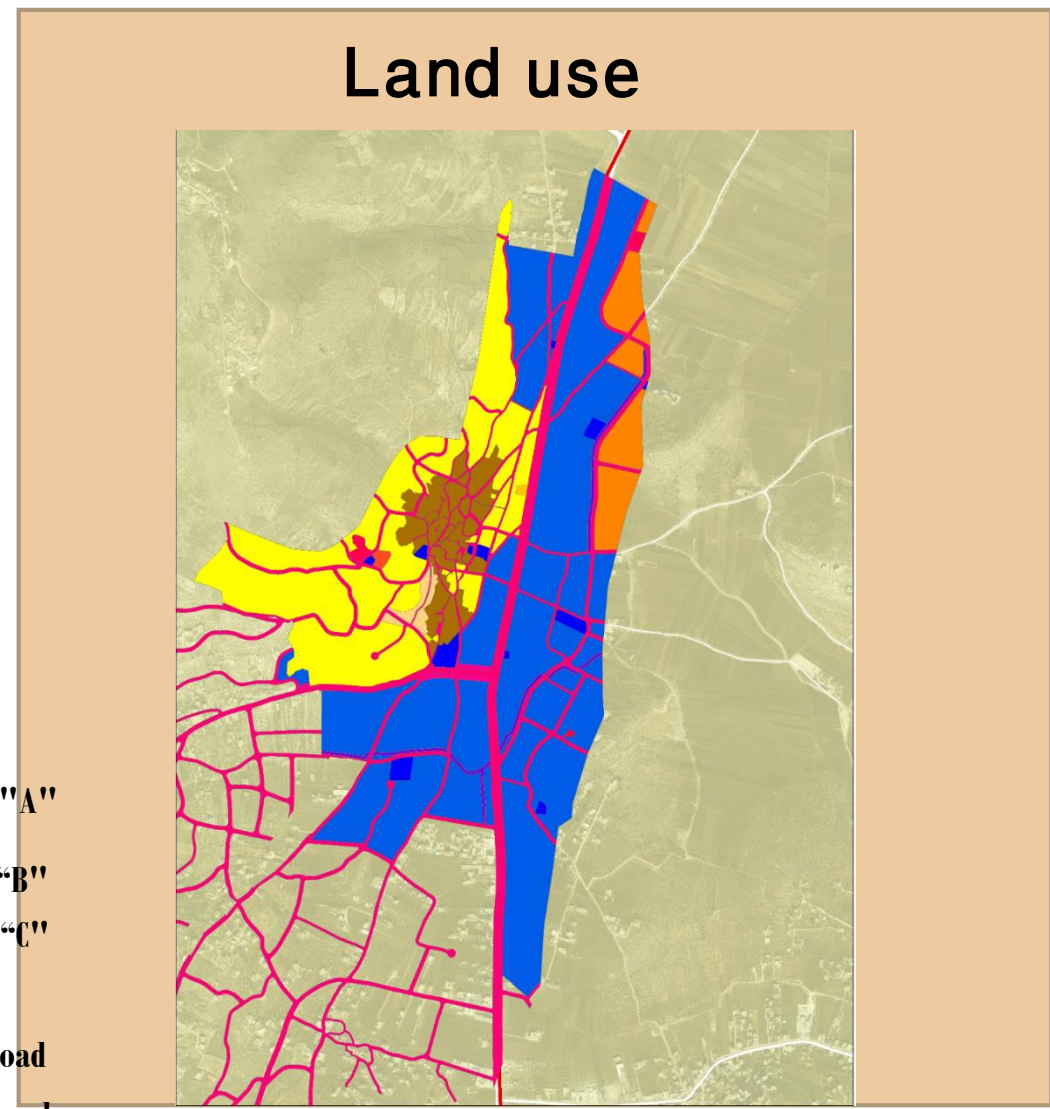
### Land use

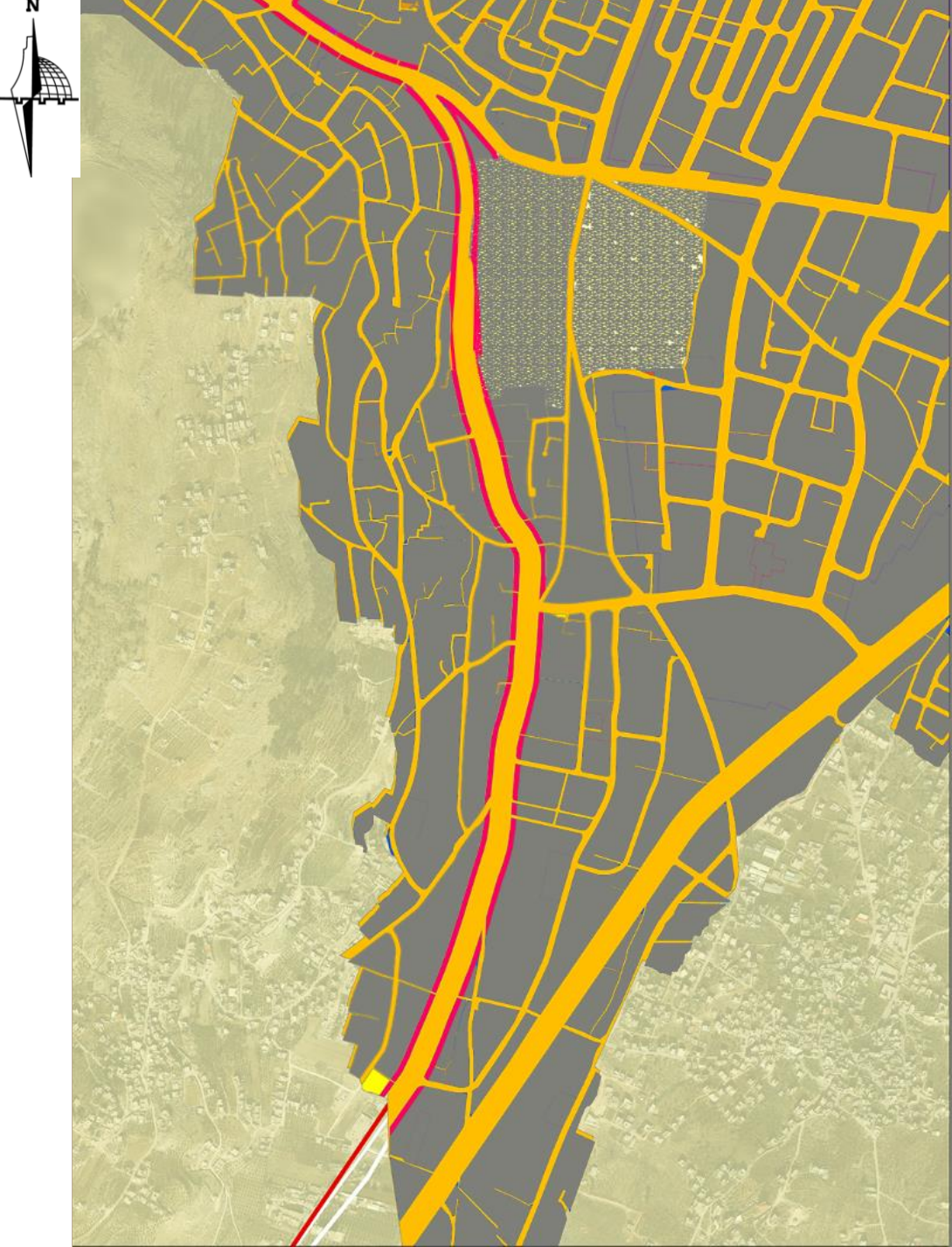




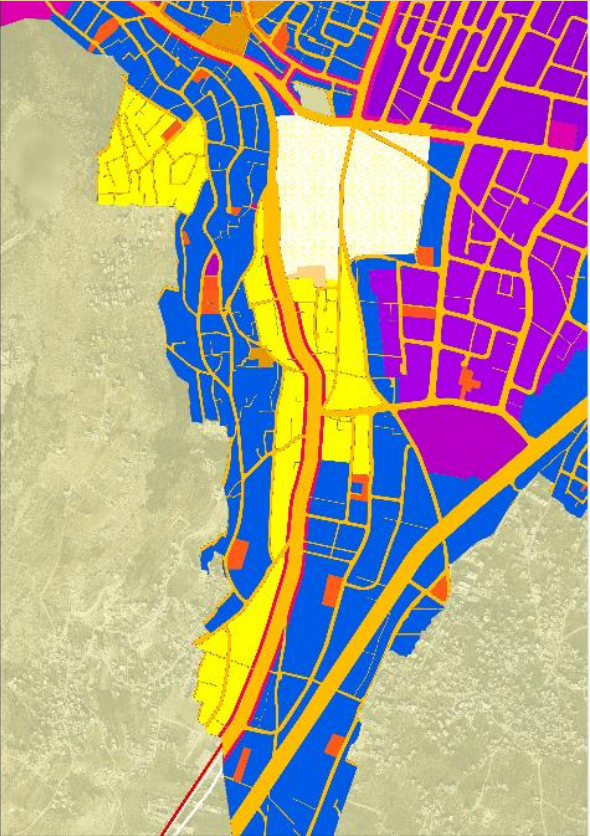
**Legend  
land use**

-  Residence "A"
-  Residence "B"
-  Residence "C"
-  Old town
-  proposed road
-  Approved road
-  Industrial
-  Residence "A"



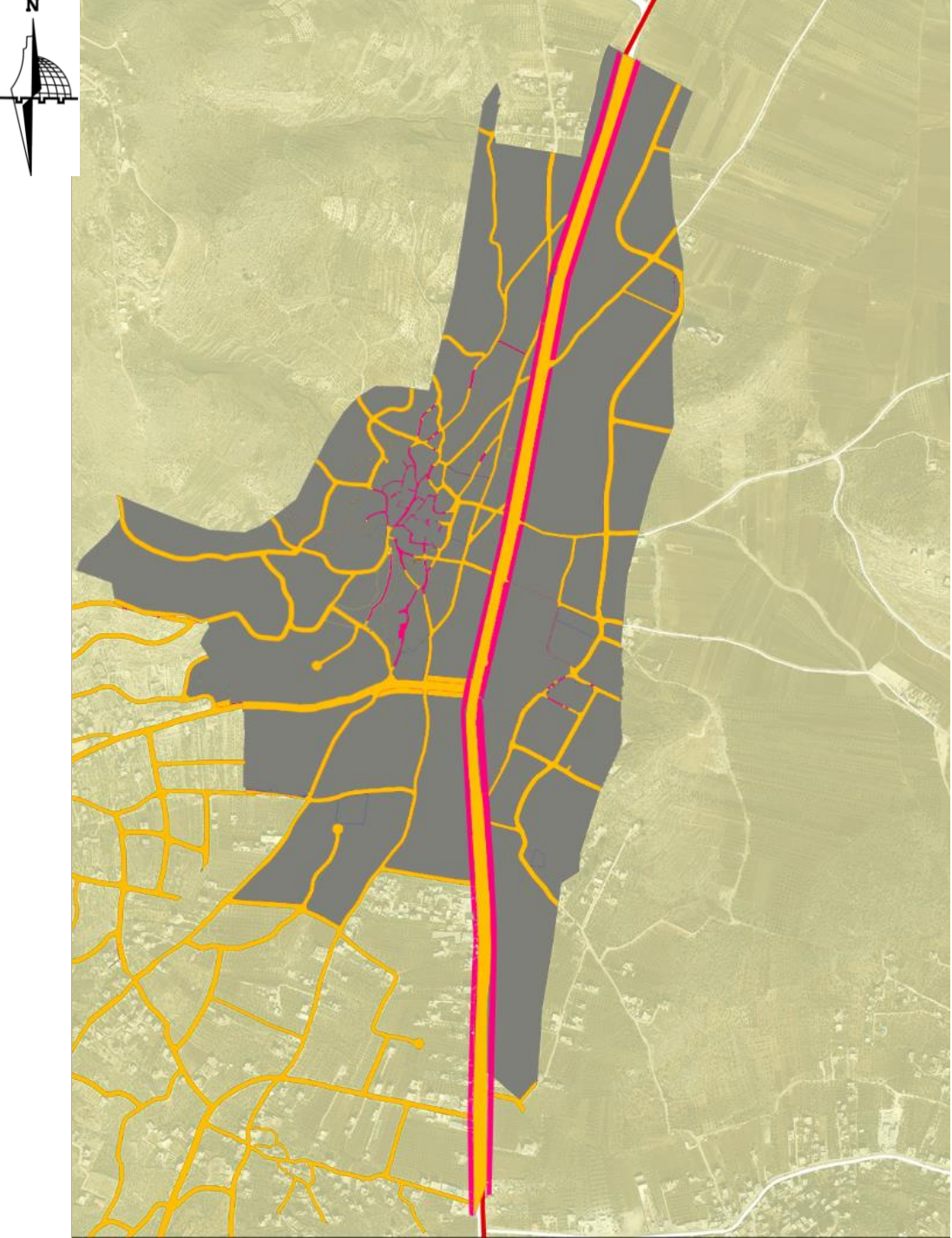


# Land use



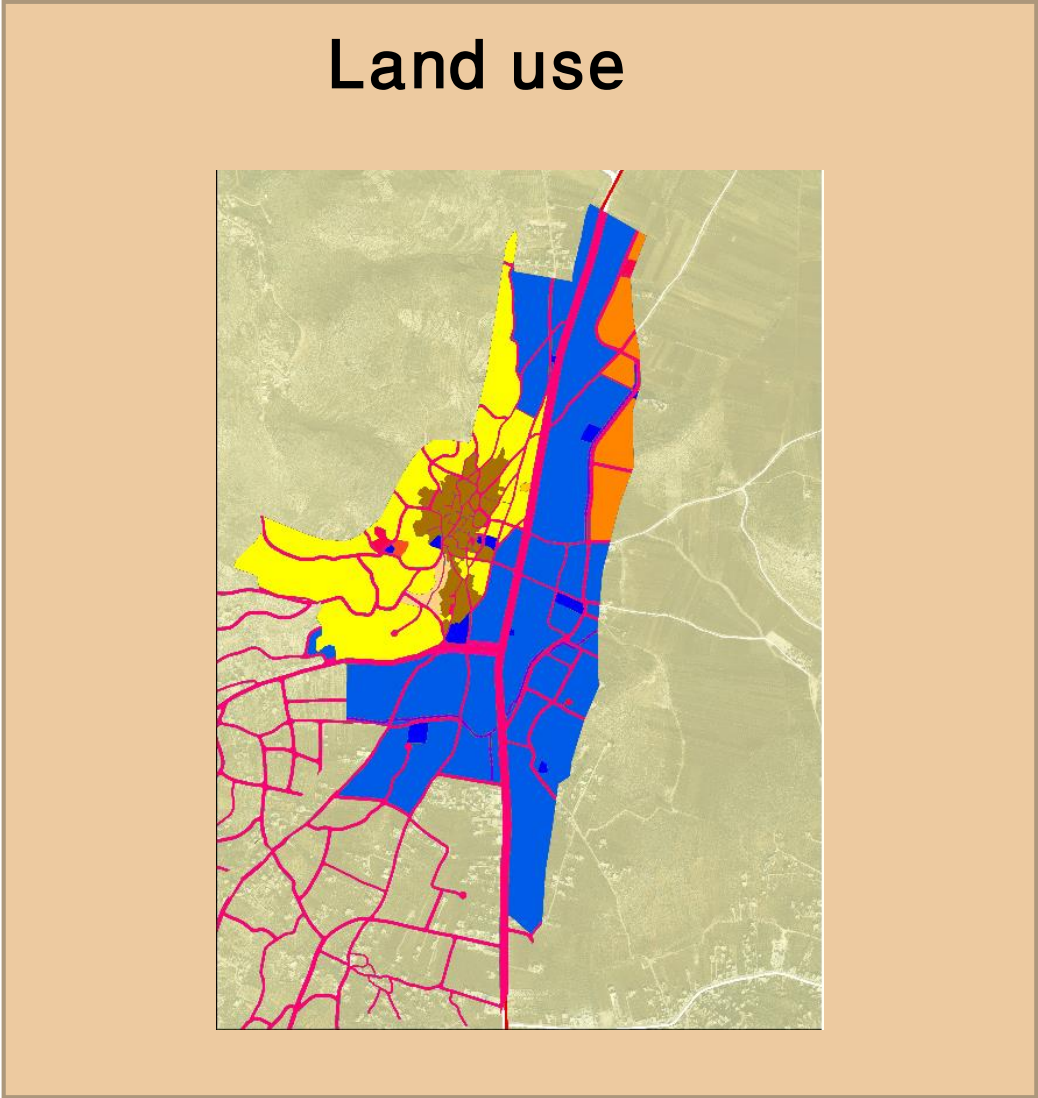
## Legend land use

-  Residential area
-  Commercial area
-  Road



**Legend**  
land use

-  Residential area
-  Commercial area
-  Road



# Road function classification

**Legend**

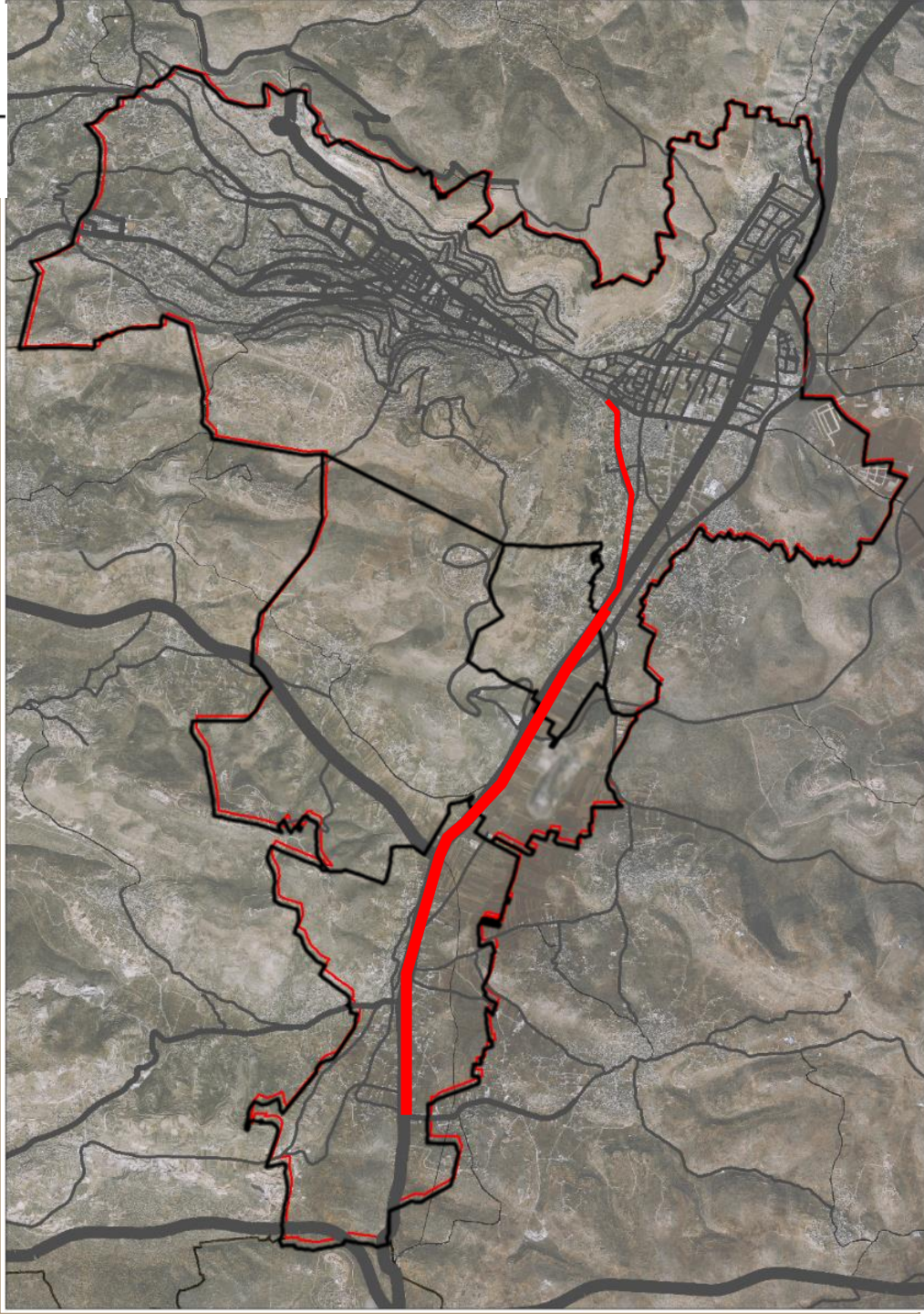
 Study street

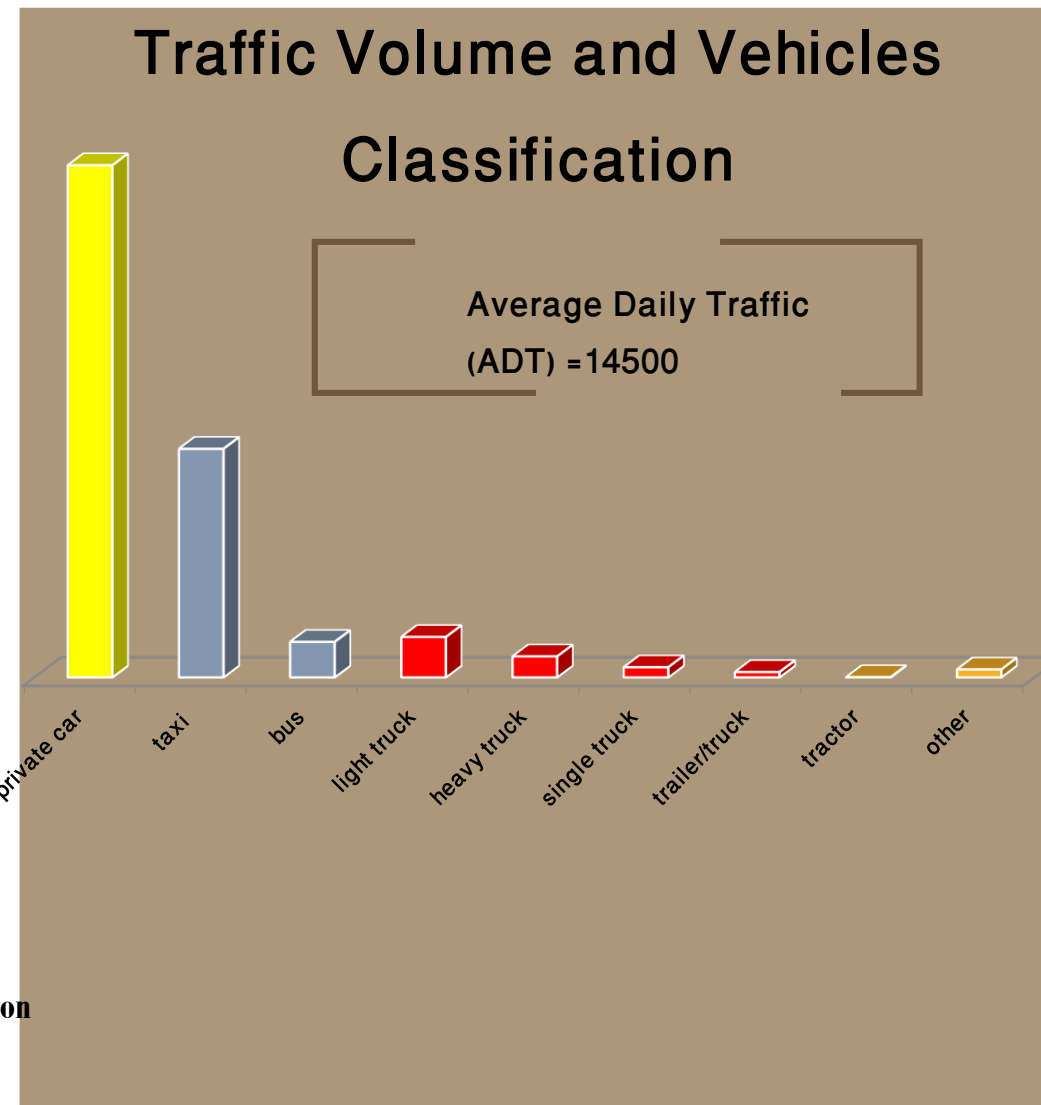
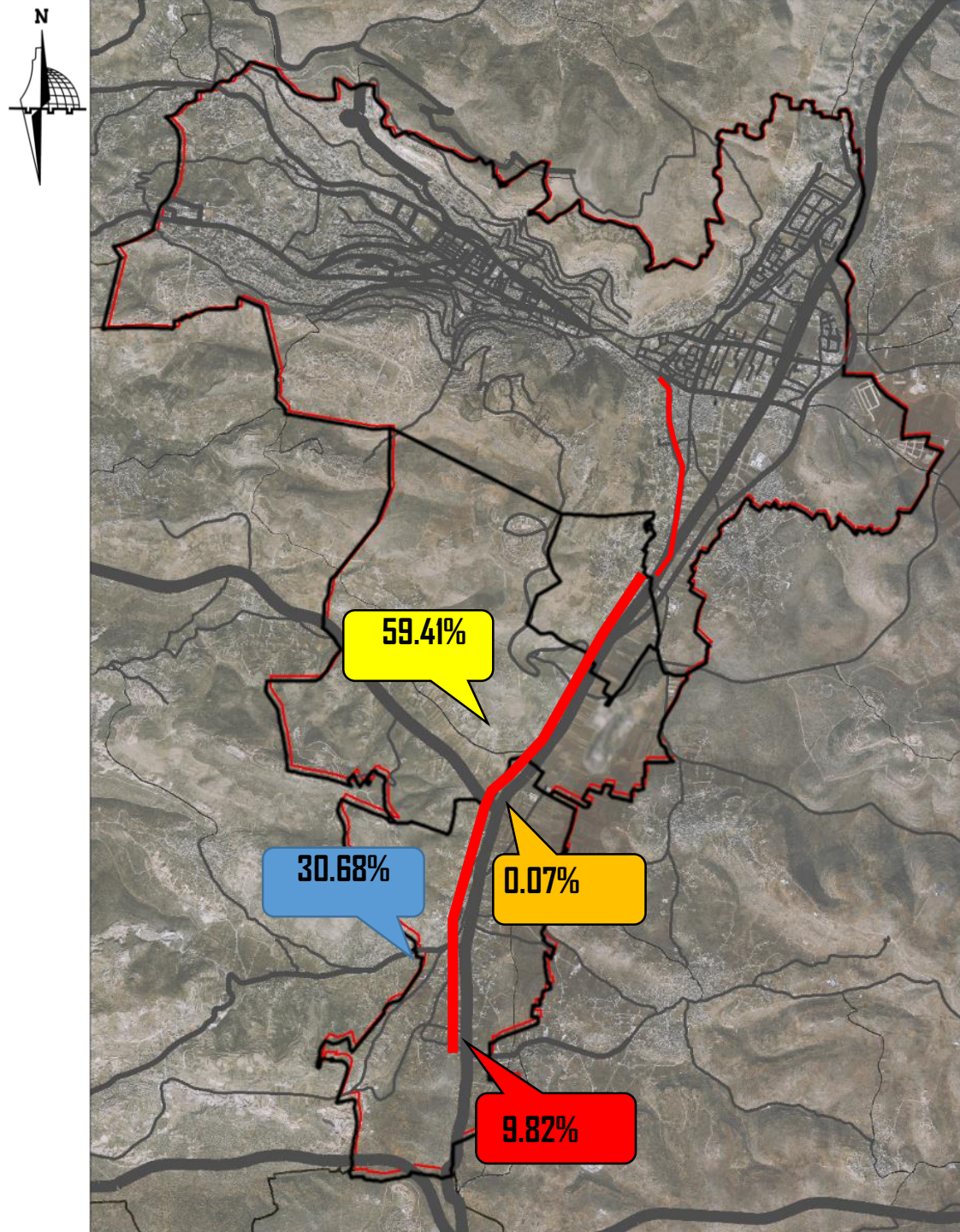
Roads classification

 local

 Minor arterial

 Arterial





- Legend**
- Study street
  - Vehicle classification**
  - Private car
  - Public transportation
  - Truck
  - Tractor

\* Eniabous

*	North Approach			South Approach			West Approach		
	T	R	Total	L	T	total	L	R	total
Turning Movement									
Volume	700	98	797	31	878	909	62	48	110
PHF	0.96			0.91			0.9		

Beita

*	South Approach			North Approach			East Approach		
	T	R	Total	L	T	total	L	R	total
Turning Movement									
Volume	690	31	721	87	623	698	15	72	87
PHF	0.88			0.83			0.78		

Qalqylia

*	North Approach			South Approach			West Approach		
	T	R	Total	L	T	total	L	R	total
Turning Movement									
Volume	834	192	1025	36	647	683	32	151	184
PHF	0.89			0.89			0.82		

\* Eniabous

*	North Approach			South Approach			West Approach		
	T	R	Total	L	T	total	L	R	total
Turning Movement									
Volume	2487	348	2835	110	3121	3231	219	172	391
PHF	0.96			0.91			0.90		

Beita

*	South Approach			North Approach			East Approach		
	T	R	Total	L	T	total	L	R	total
Turning Movement									
Volume	2454	110	2564	310	2216	2483	52	257	310
PHF	0.88			0.83			0.78		

Qalqylia

*	North Approach			South Approach			West Approach		
	T	R	Total	L	T	total	L	R	total
Turning Movement									
Volume	2964	681	3645	129	2301	2430	114	538	653
PHF	0.89			0.89			0.82		

2019

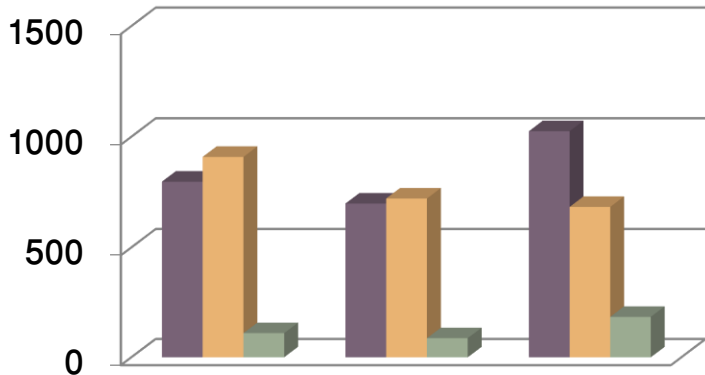
2039

\* Based on traffic data collected in 2013 and 2016

$Volume * (1+r)^n$

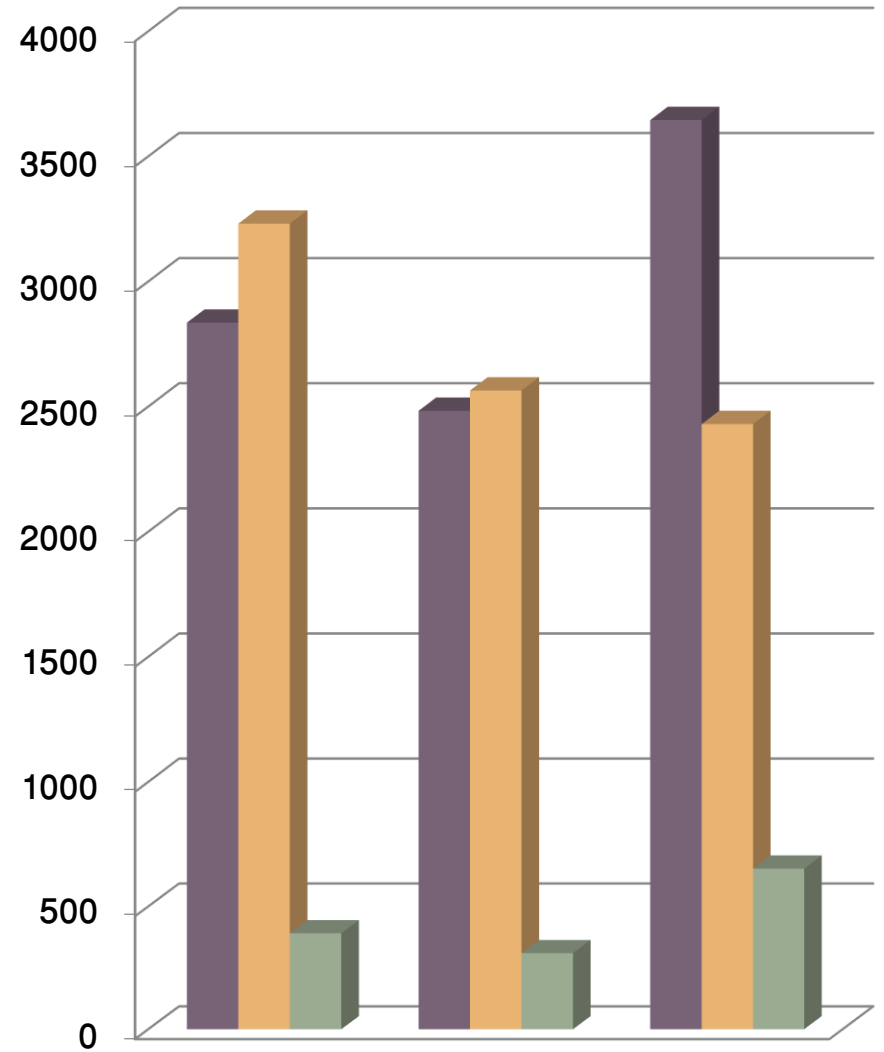
growth factor : 5%

2019



North  
South  
West/east

2039



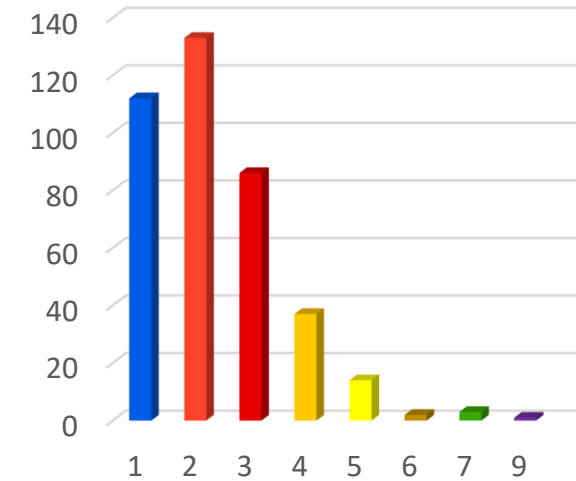
North  
South  
West/East

A significant increase in the number of cars

The street can not be expanded due to buildings

# Number of floor

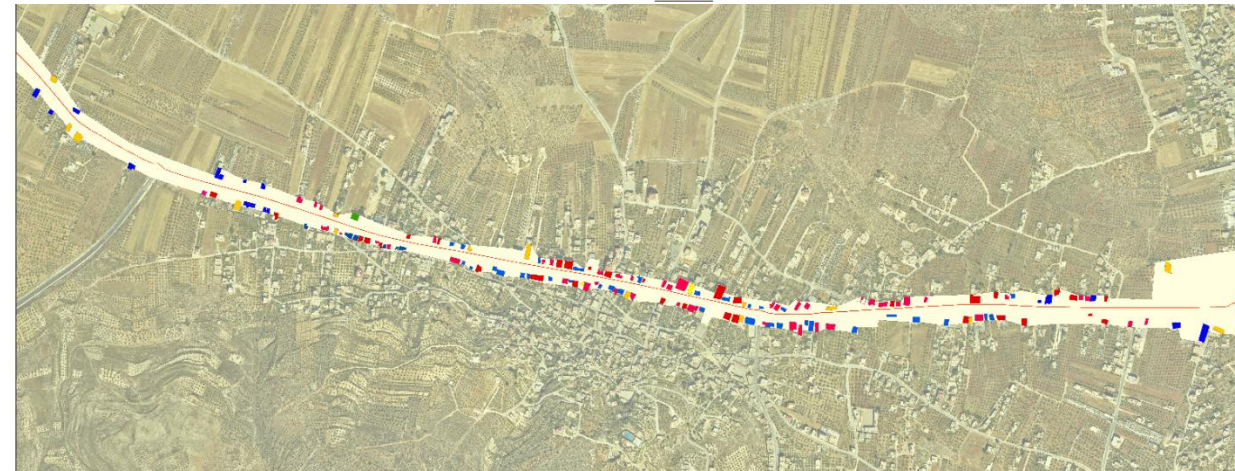
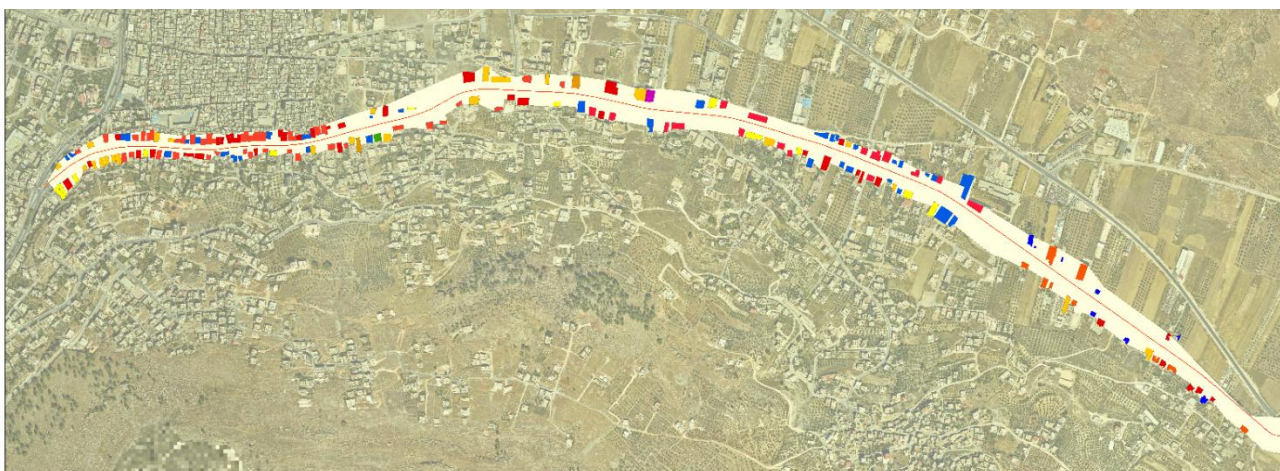
# physical analysis



### Legend

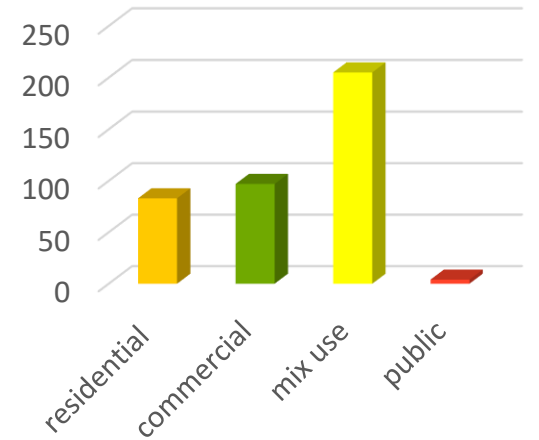
number of floor

NFL

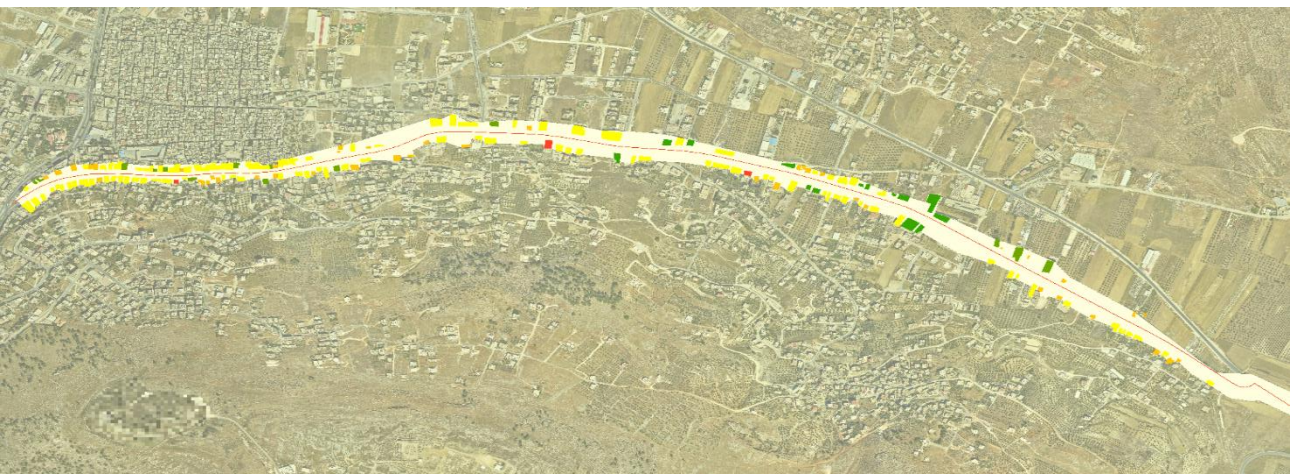
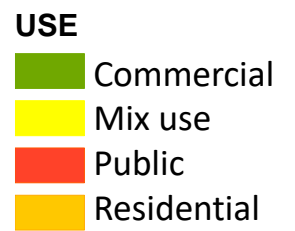


# Use of building

# physical analysis

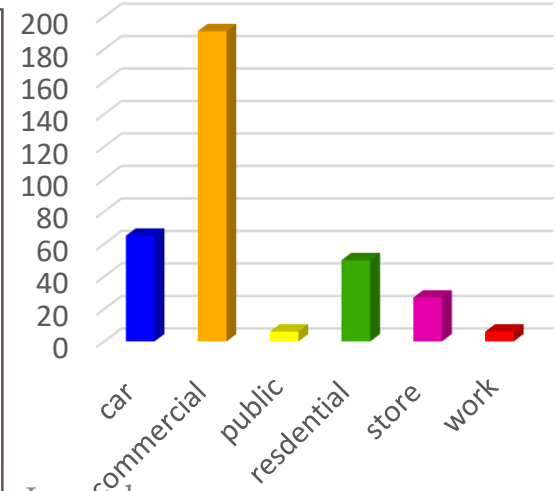


Use of building



# Use of first floor

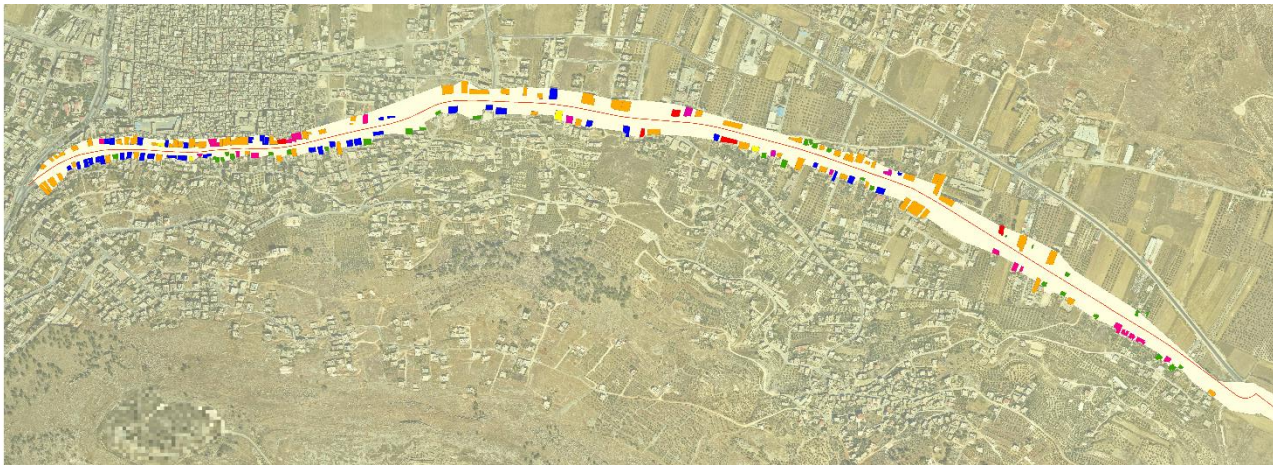
## physical analysis



Legend

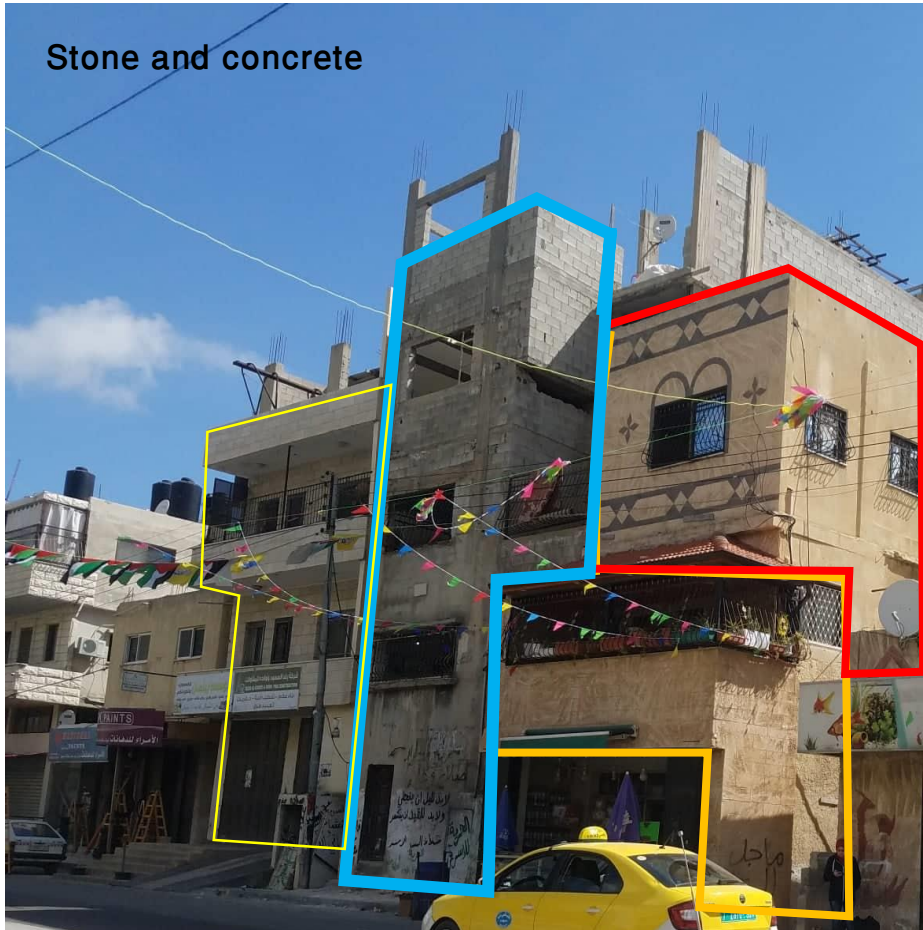
Use of first floor

- CAR
- COM
- Public
- Residential
- Close Store
- WORK



# Color and texture

Stone and concrete

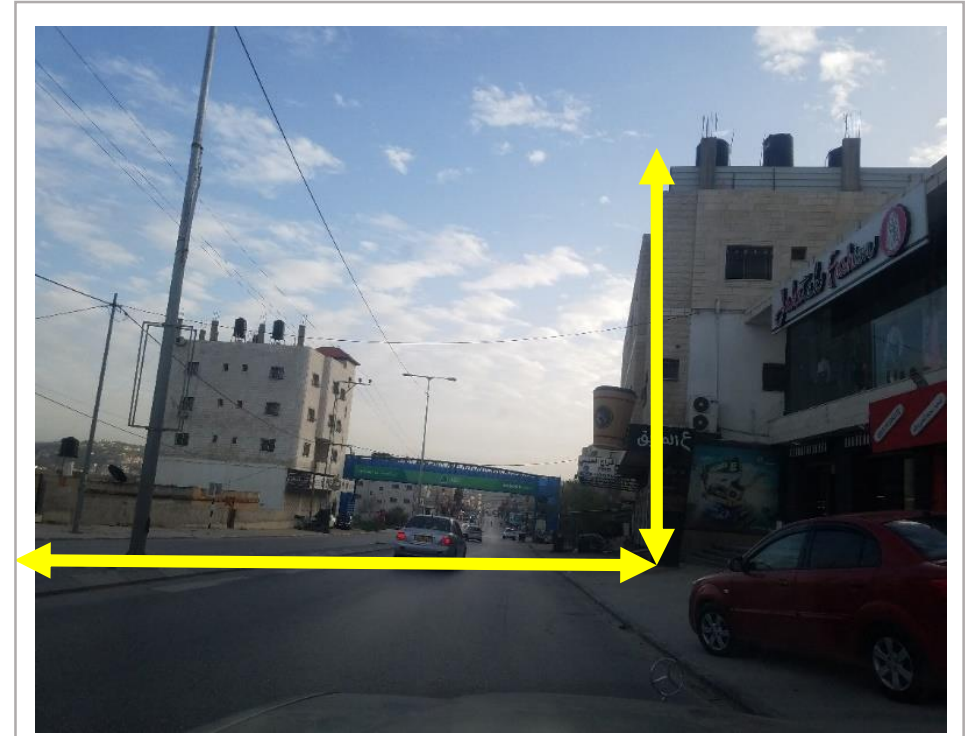


Colored concrete



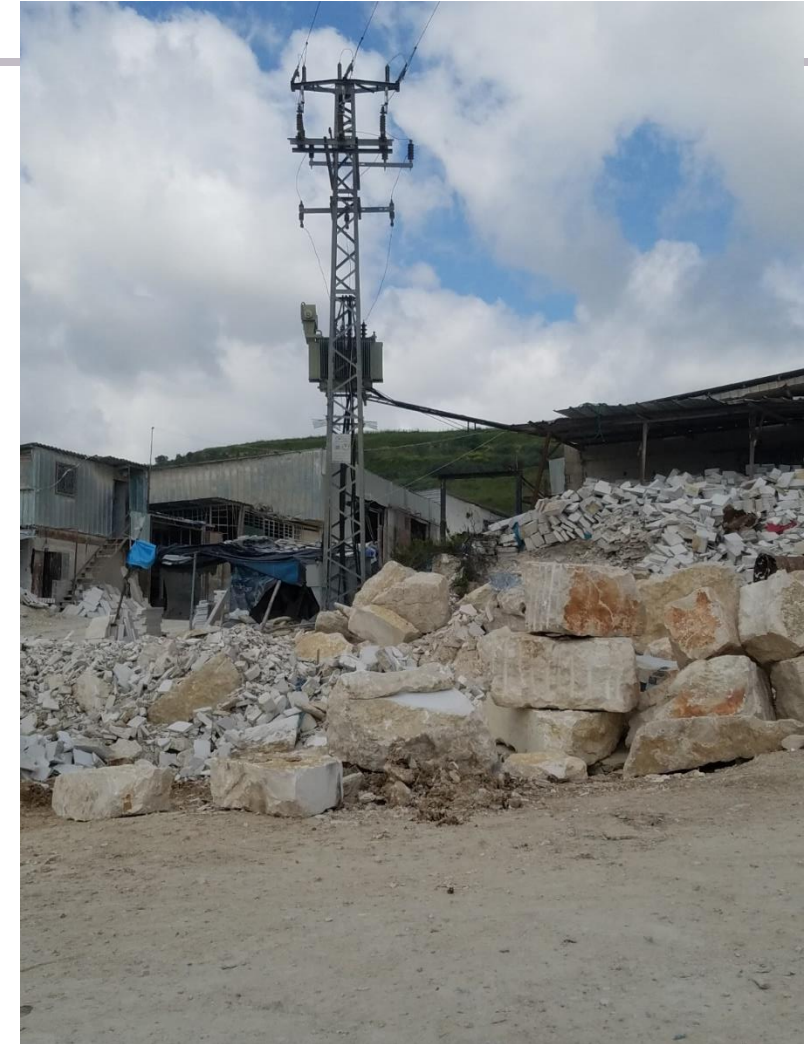
Building which oriented toward the street have more material and colored

# Scale



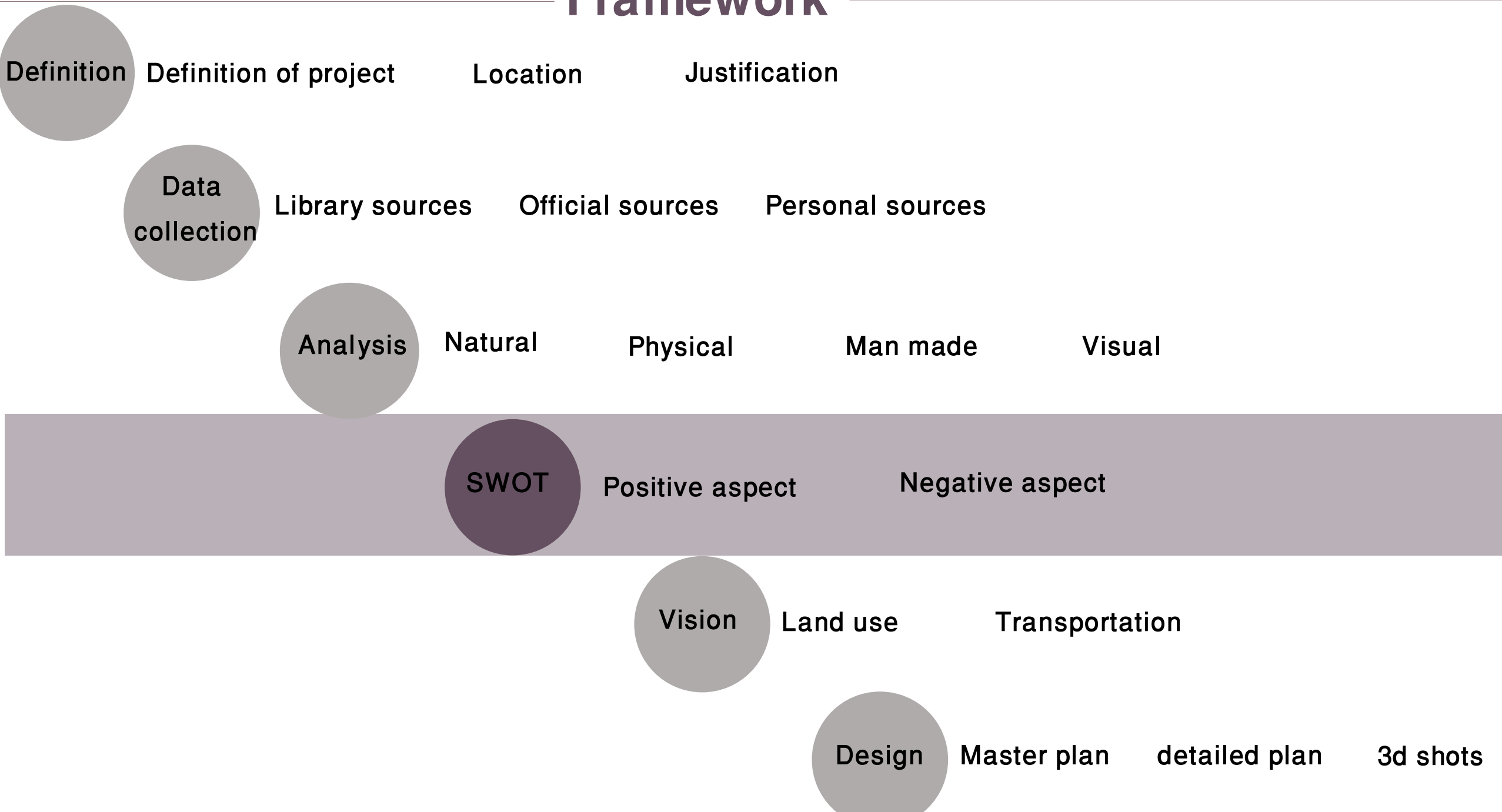
In general proportion height of building : width of street is 1:2

# Pollution



Street have much more pollution specially visual pollution like quarries and car damage garage

# Framework



# SWOT analysis

Positive aspect



Negative aspect



# SWOT analysis

## Positive aspect

Part of Regional street & connector road

Agriculture plain

High traffic volume

Economically viable

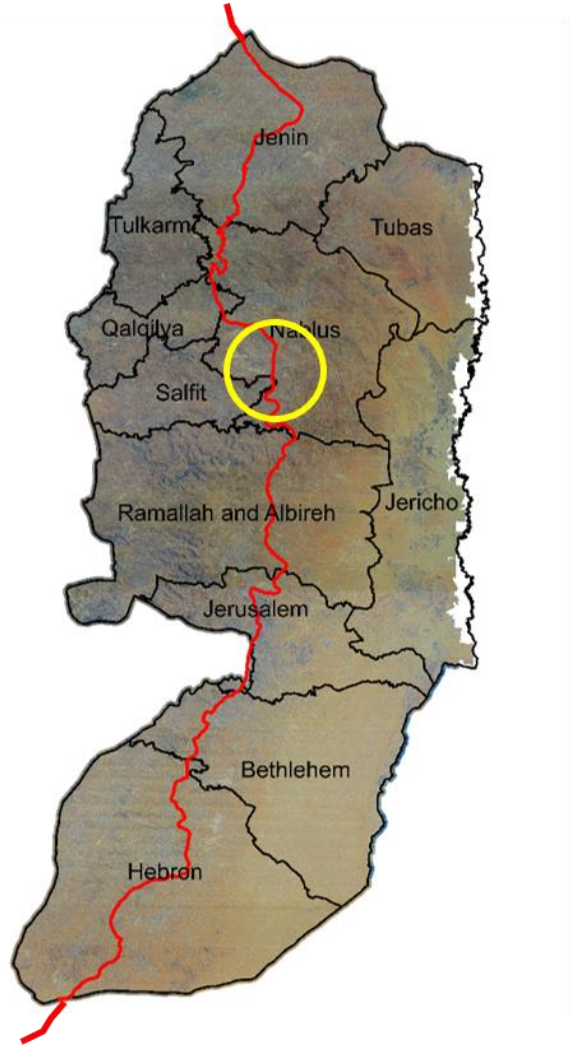
Alternative street

## Negative aspect



# SWOT analysis

- Positive aspect**
- Part of Regional street & connector road
- Agriculture plain
- High traffic volume
- Economically viable
- Alternative street





# SWOT analysis

## Positive aspect

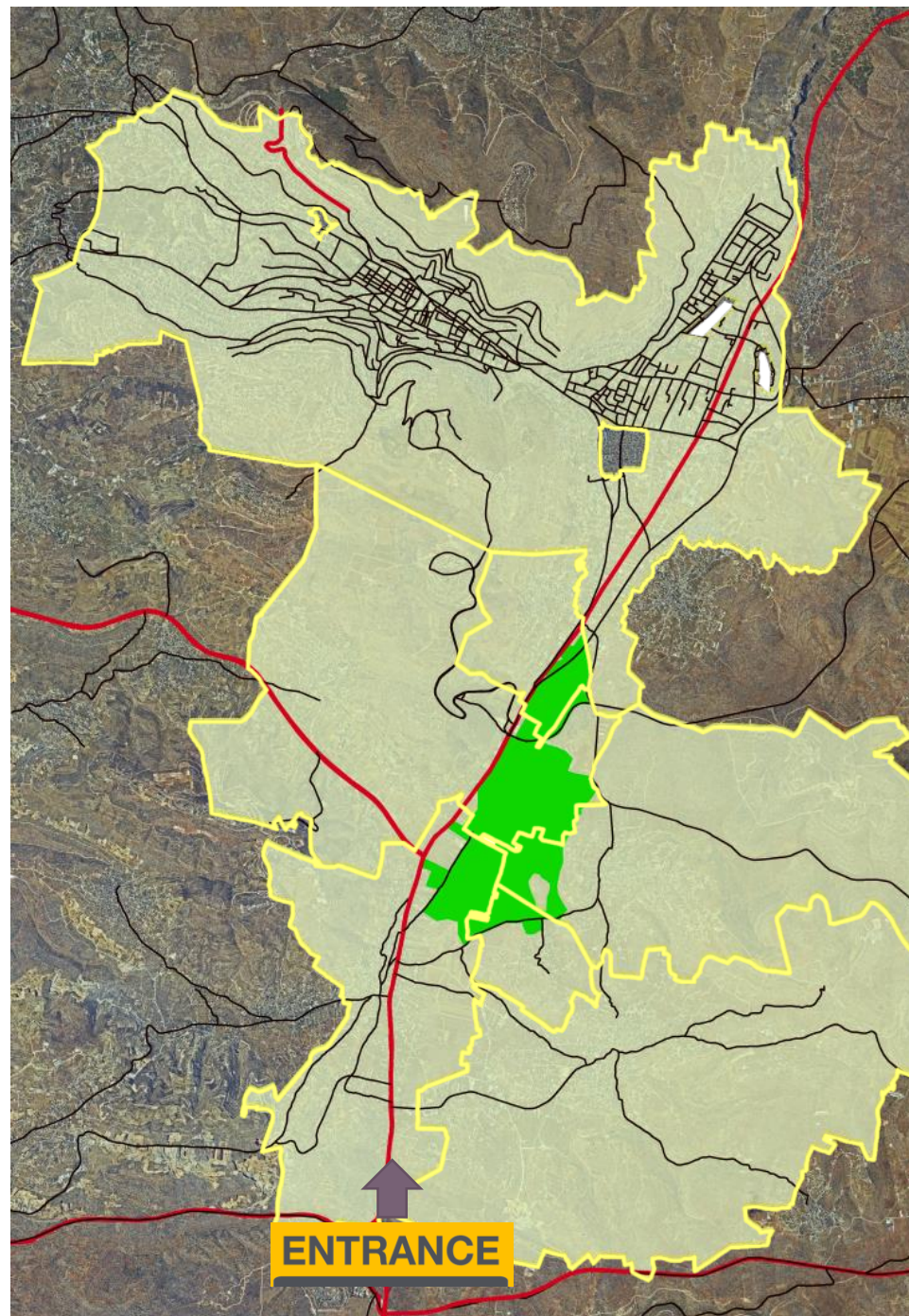
Part of Regional street & connector road

Agriculture plain

High traffic volume

Economically viable

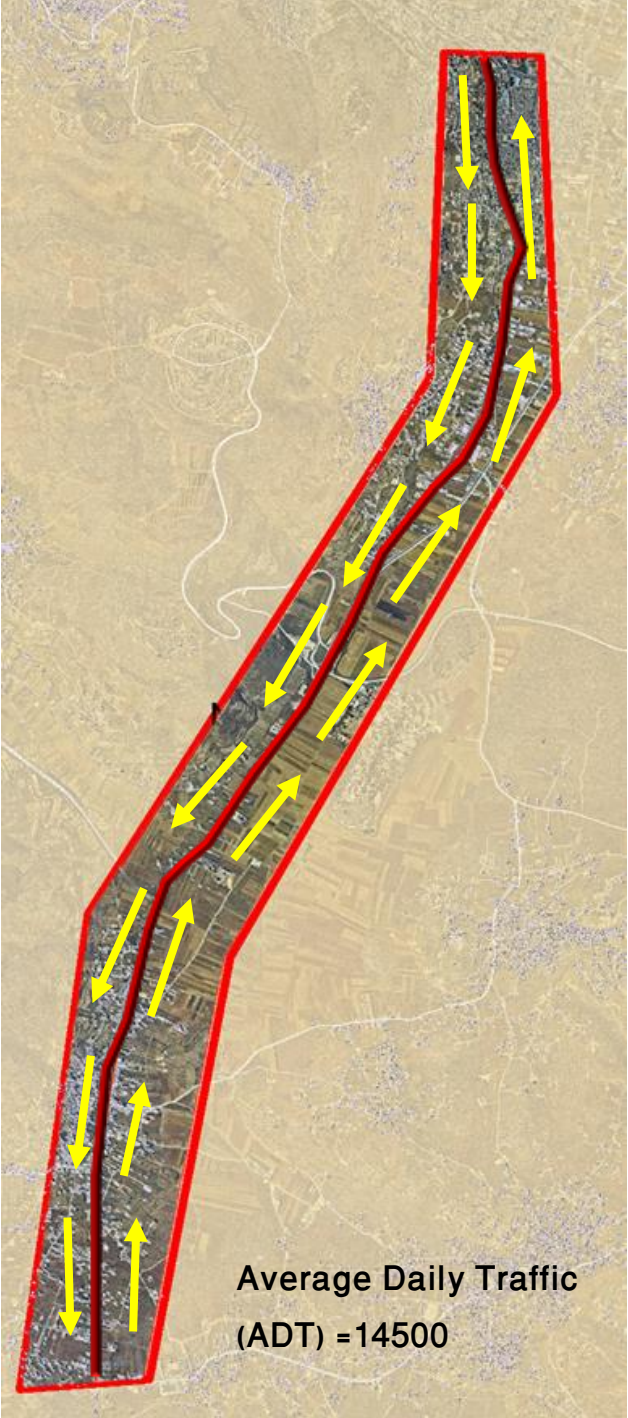
Alternative street





# SWOT analysis

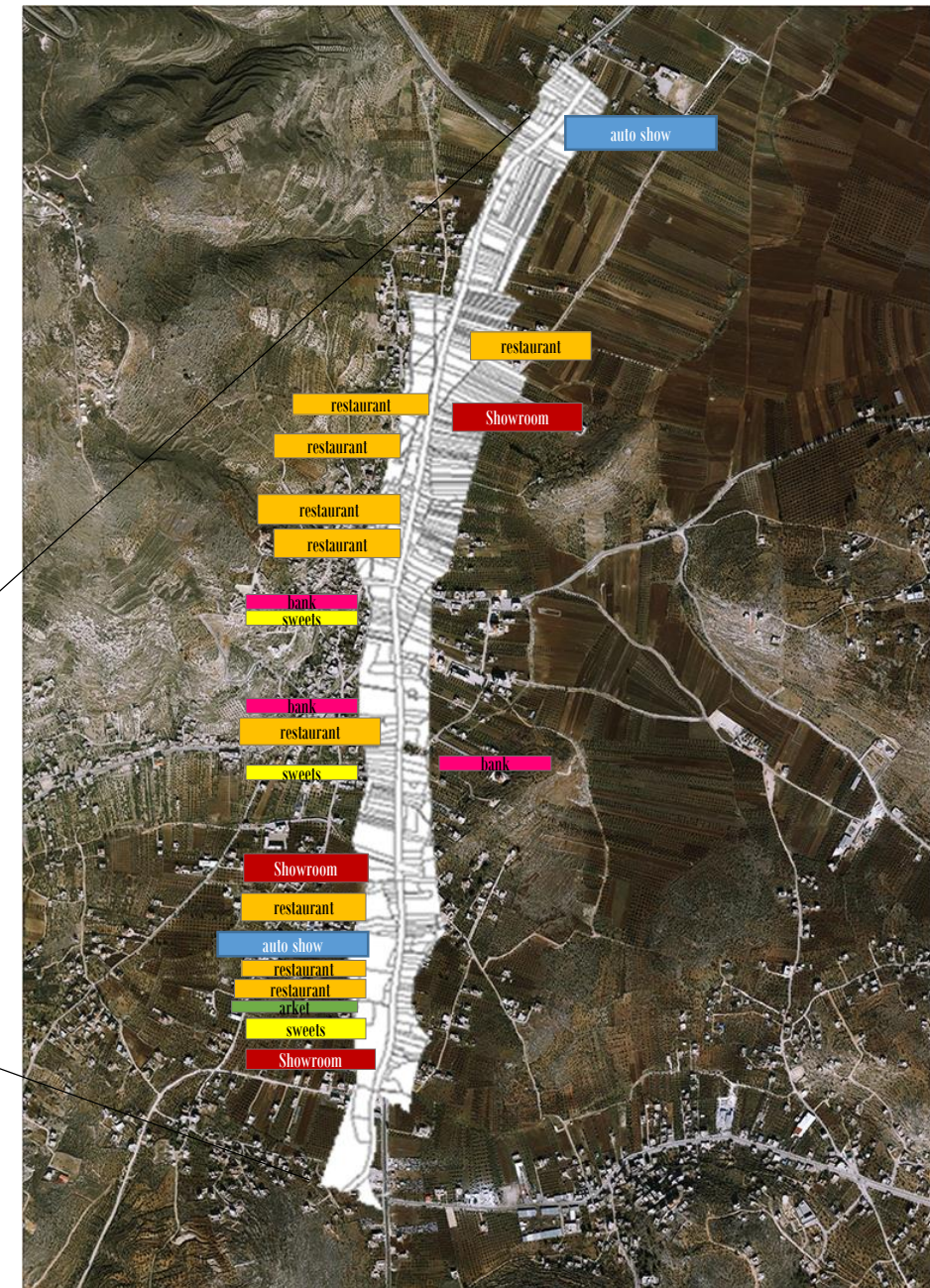
- Positive aspect**
- Part of Regional street & connector road
- Agriculture plain
- High traffic volume
- Economically viable
- Alternative street



# SWOT analysis

## Positive aspect

- Part of Regional street & connector road
- Agriculture plain
- High traffic volume
- Economically viable
- Alternative street





# SWOT analysis

**Positive aspect**

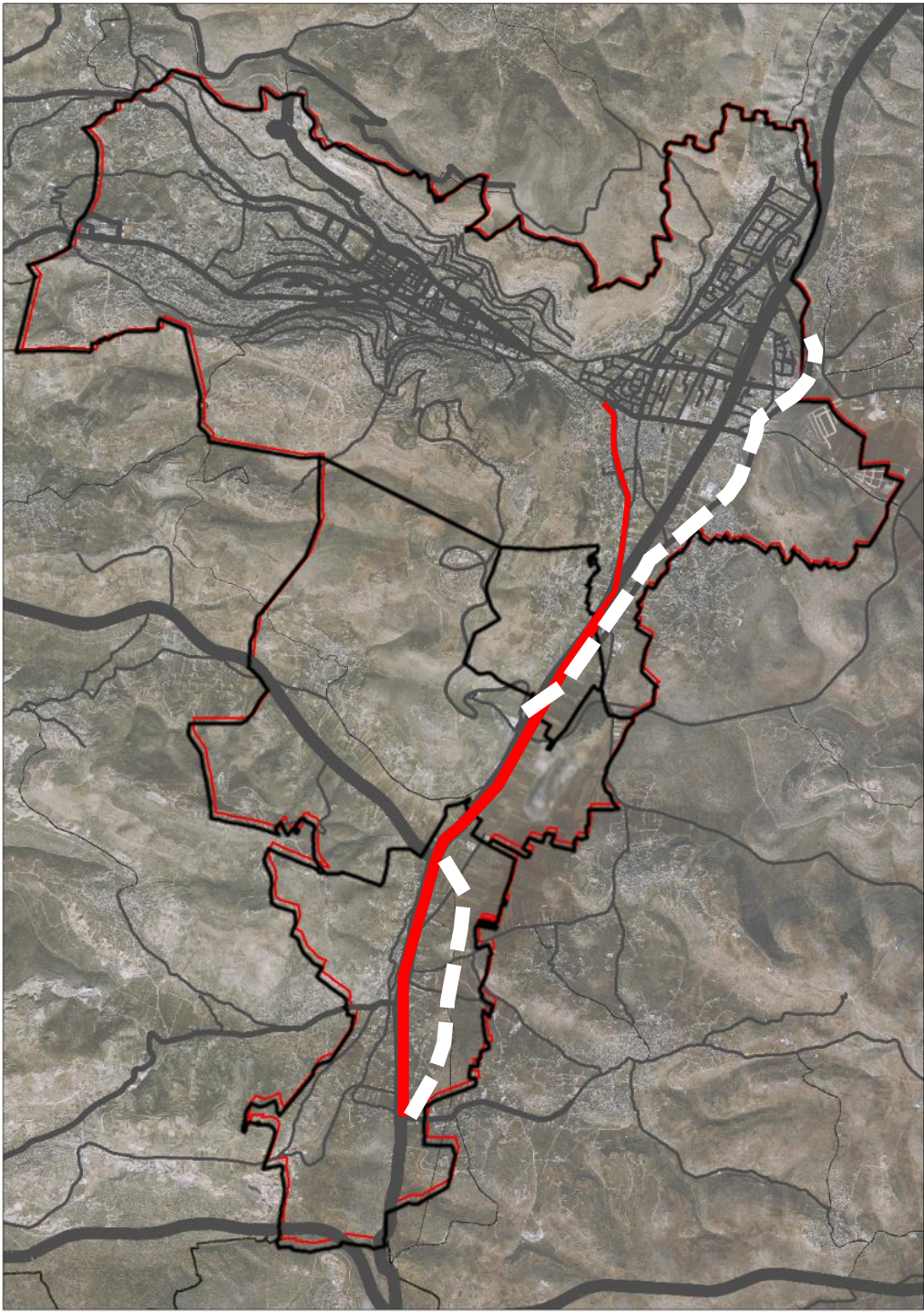
- Part of Regional street & connector road
- Agriculture plain
- High traffic volume
- Economically viable
- Alternative street





# SWOT analysis

- Positive aspect**
- Part of Regional street & connector road
- Agriculture plain
- High traffic volume
- Economically viable
- Alternative street**











# SWOT analysis

- Negative aspect**
- Political constrains
  - Counter uses
  - Capacity of street
  - poor discharge of rainwater
  - Limited sidewalk & no parking
  - Visual pollution



-  Camp
-  Colony
-  Factories
-  Military camp
-  Quarries
-  Checkpoint



# SWOT analysis

## Negative aspect

- Political constrains
- Counter uses
- Capacity of street
- poor discharge of rainwater
- Limited sidewalk & no parking
- Visual pollution



### Legend

- Commercial
- Car
- Residential



# SWOT analysis

## Negative aspect

Political constrains

Counter uses

Capacity of street

poor discharge of rainwater

**Limited sidewalk & no parking**

Visual pollution





# SWOT analysis

## Negative aspect

Political constrains

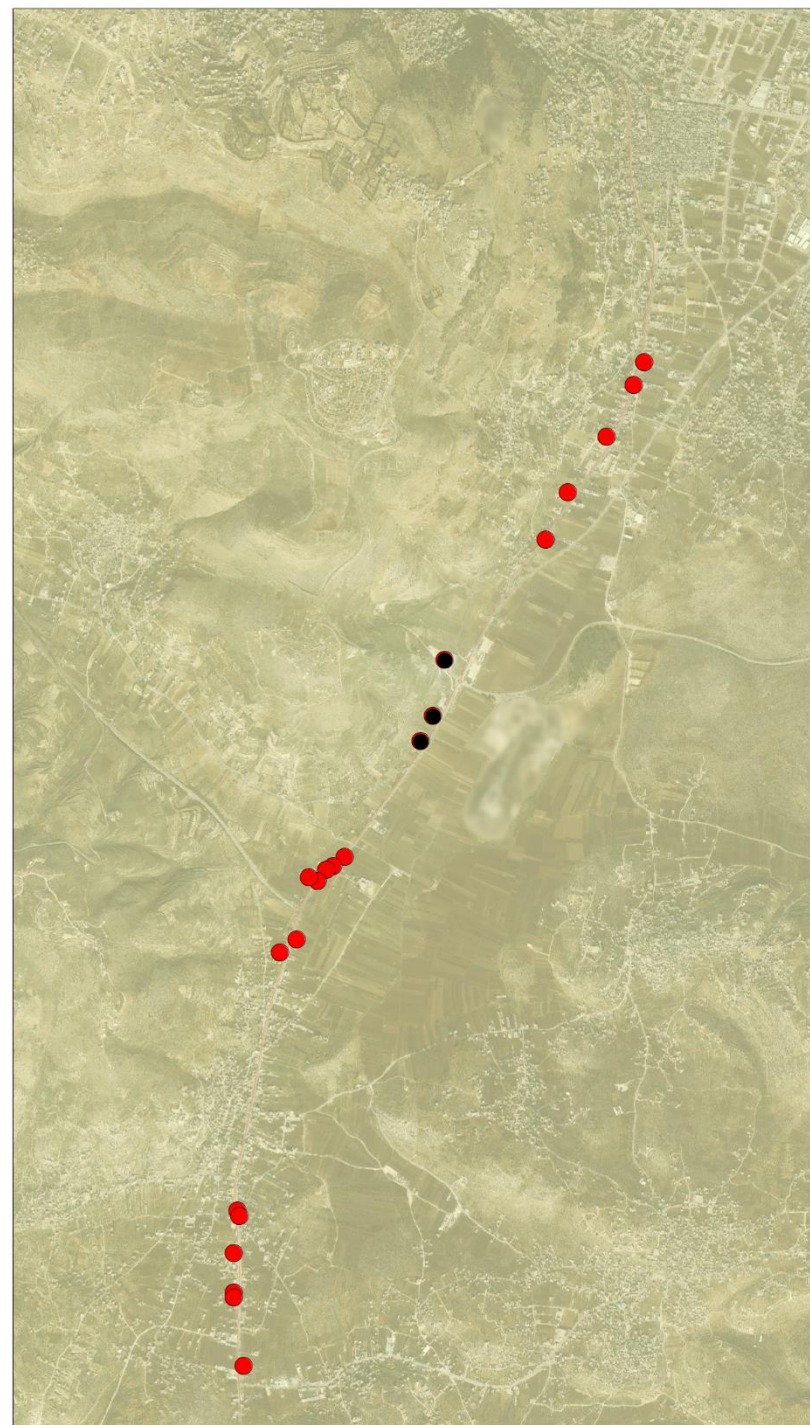
Counter uses

Capacity of street

poor discharge of rainwater

Limited sidewalk & no parking

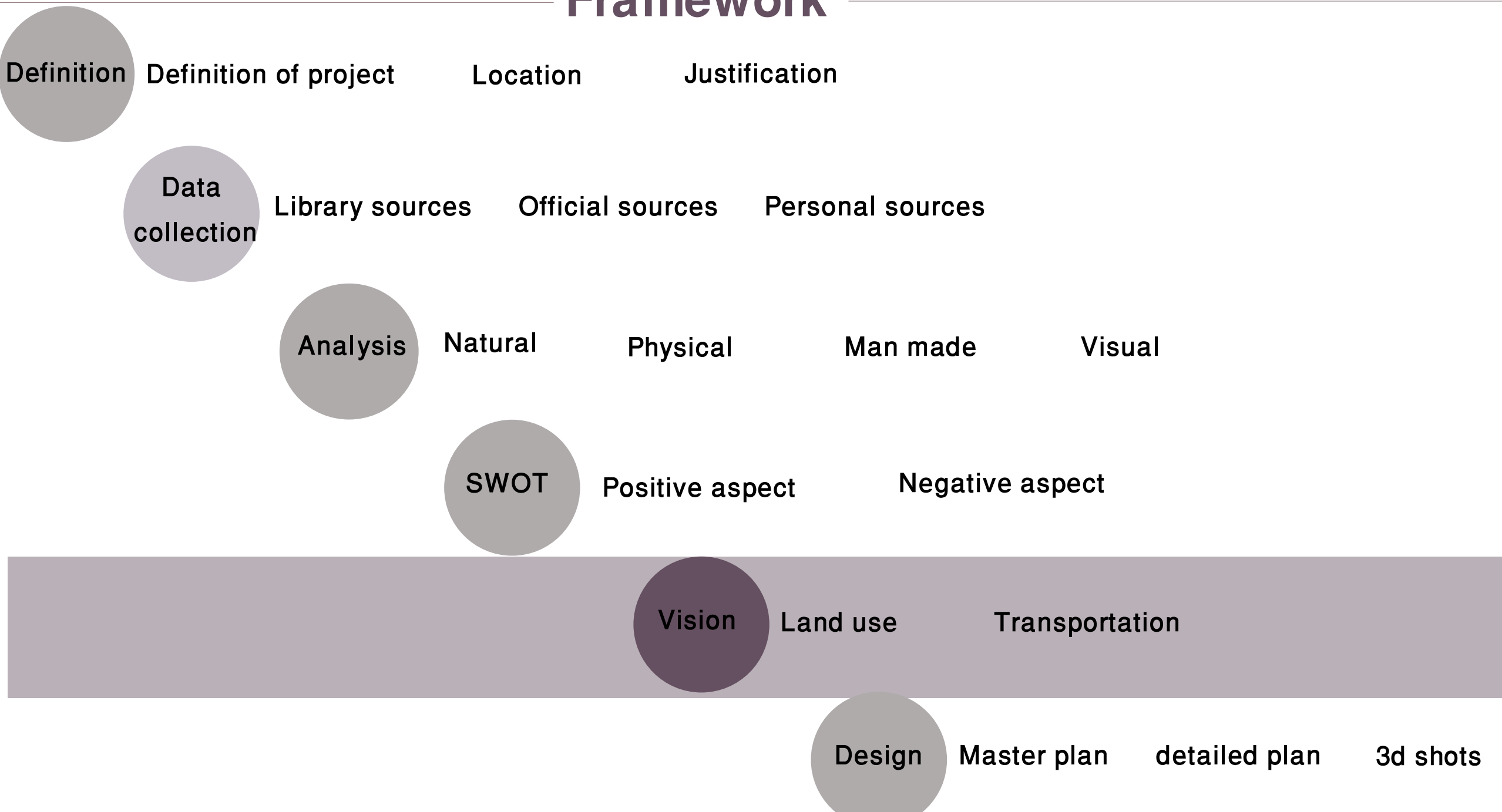
Visual pollution



## Legend

-  Car damaged garage
-  Quarries

# Framework

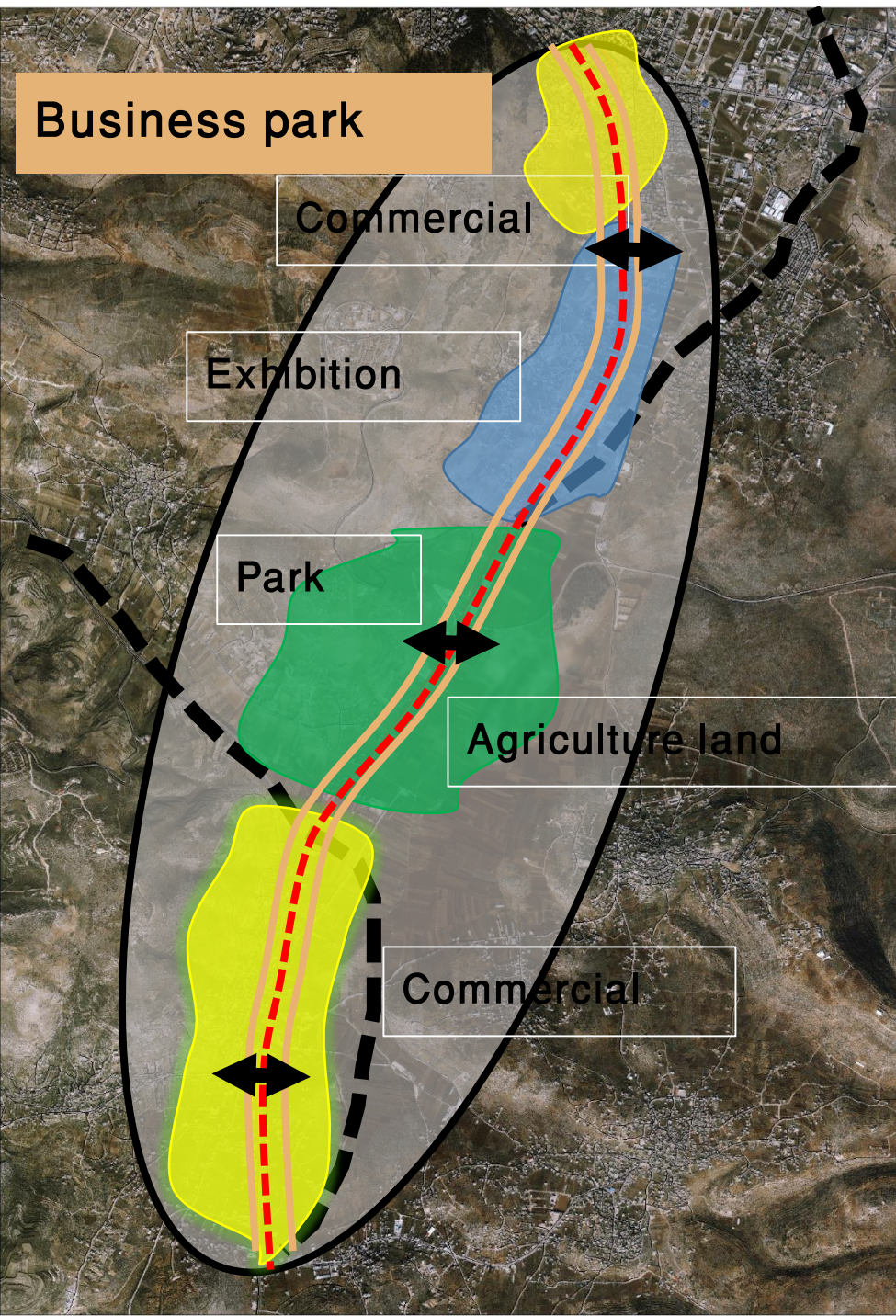


# VISION

Complete , economic attractive and safe street

- Organize land use on the street
- Make pedestrian environment safe and much more usable

- Provide environment attract investors



Business park

Commercial

Exhibition

Park

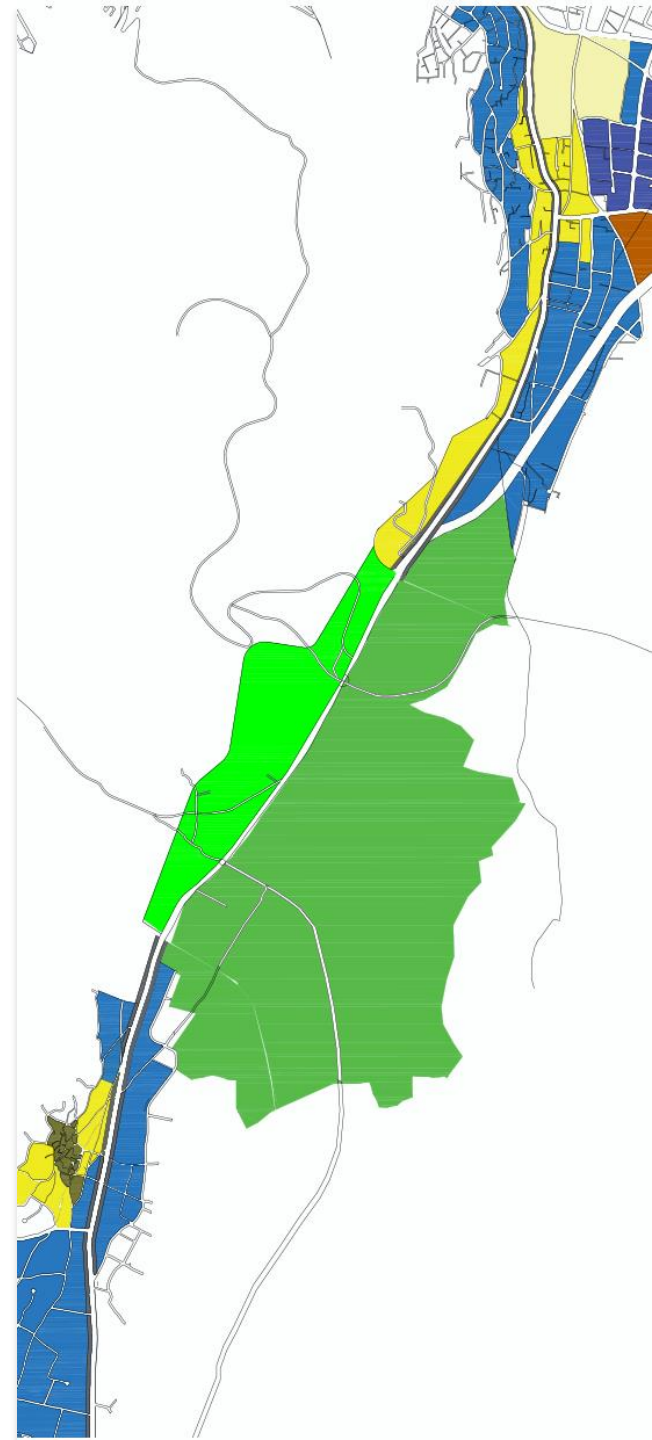
Agriculture land

Commercial



## Detailed plan

- Land use
- Transportation



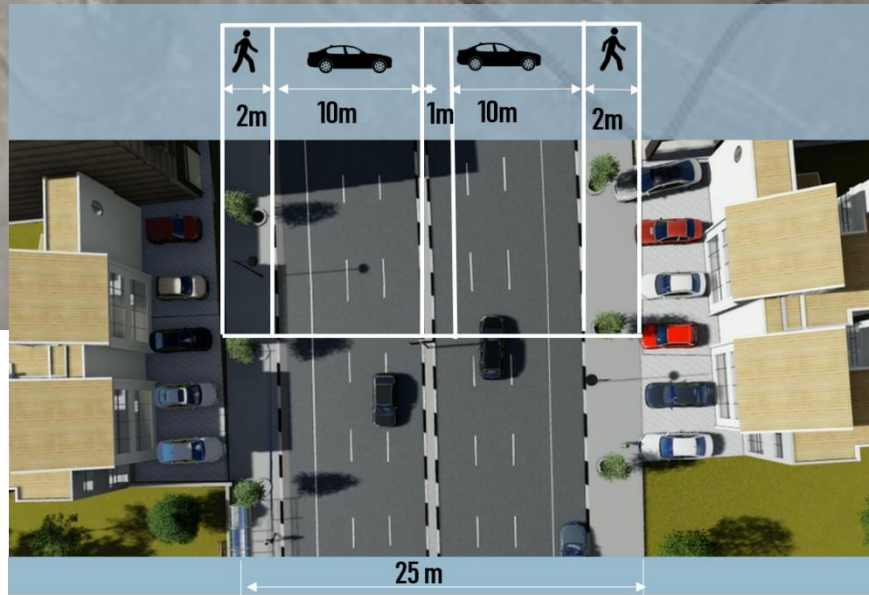
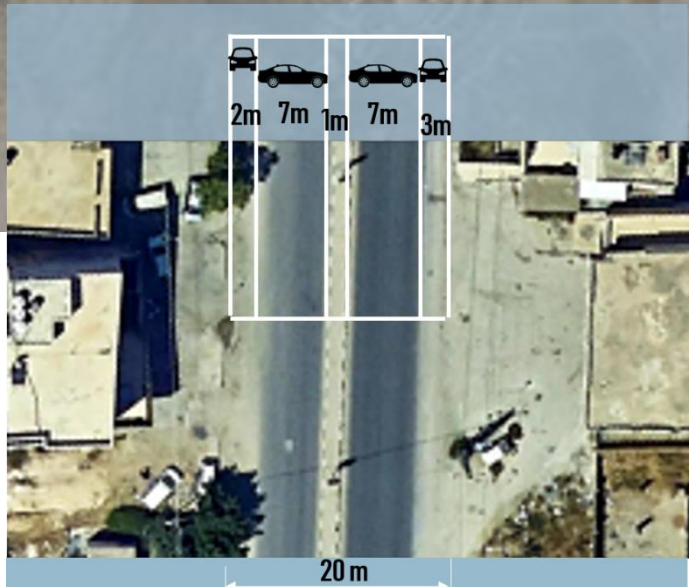




Alternative regional street



Expand street by removing obstacles  
(organize)



**Expand street to 25m**



12 m

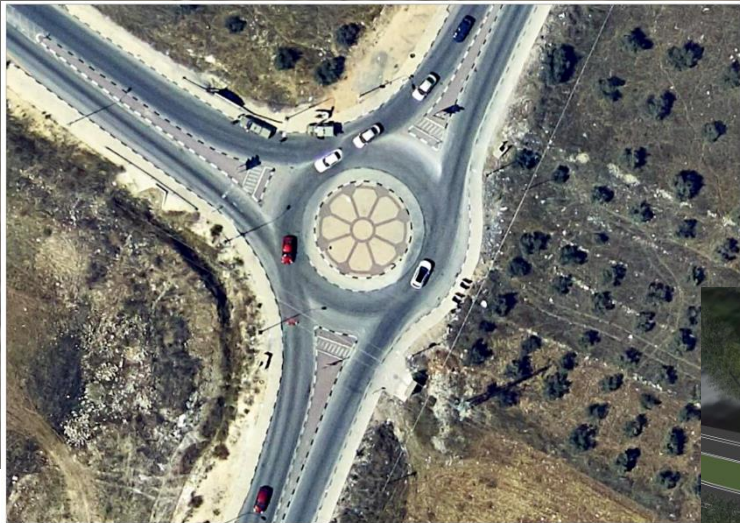


25 m

Expand street to 25m



Highway street



Alternative regional street

Redesign roundabout



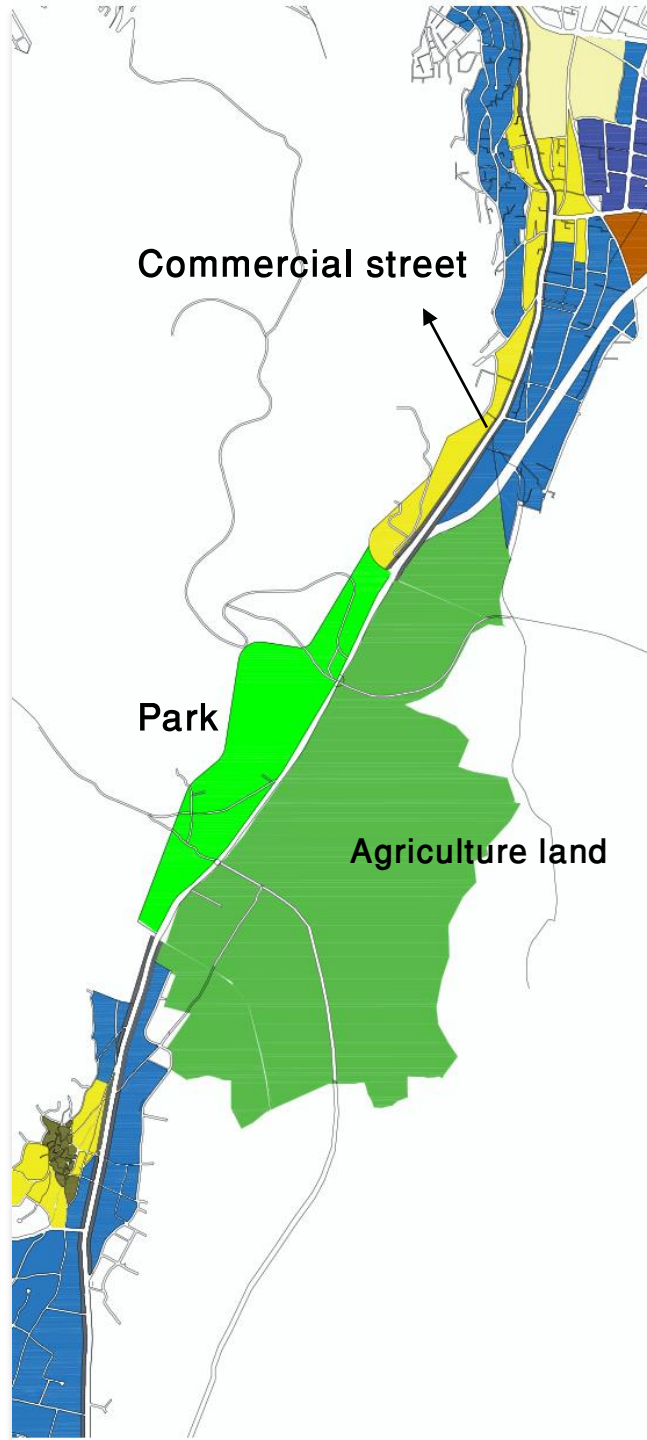
Highway street

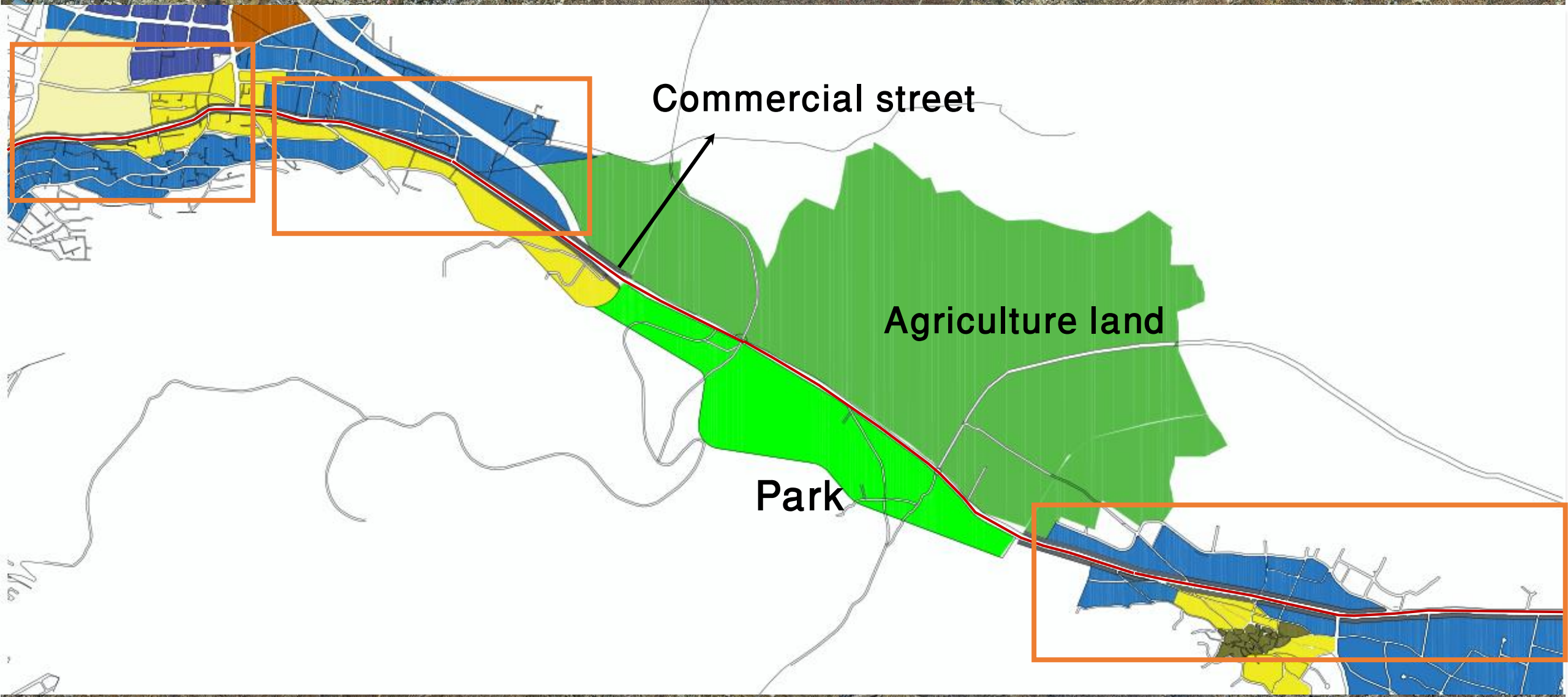






Alternative regional street

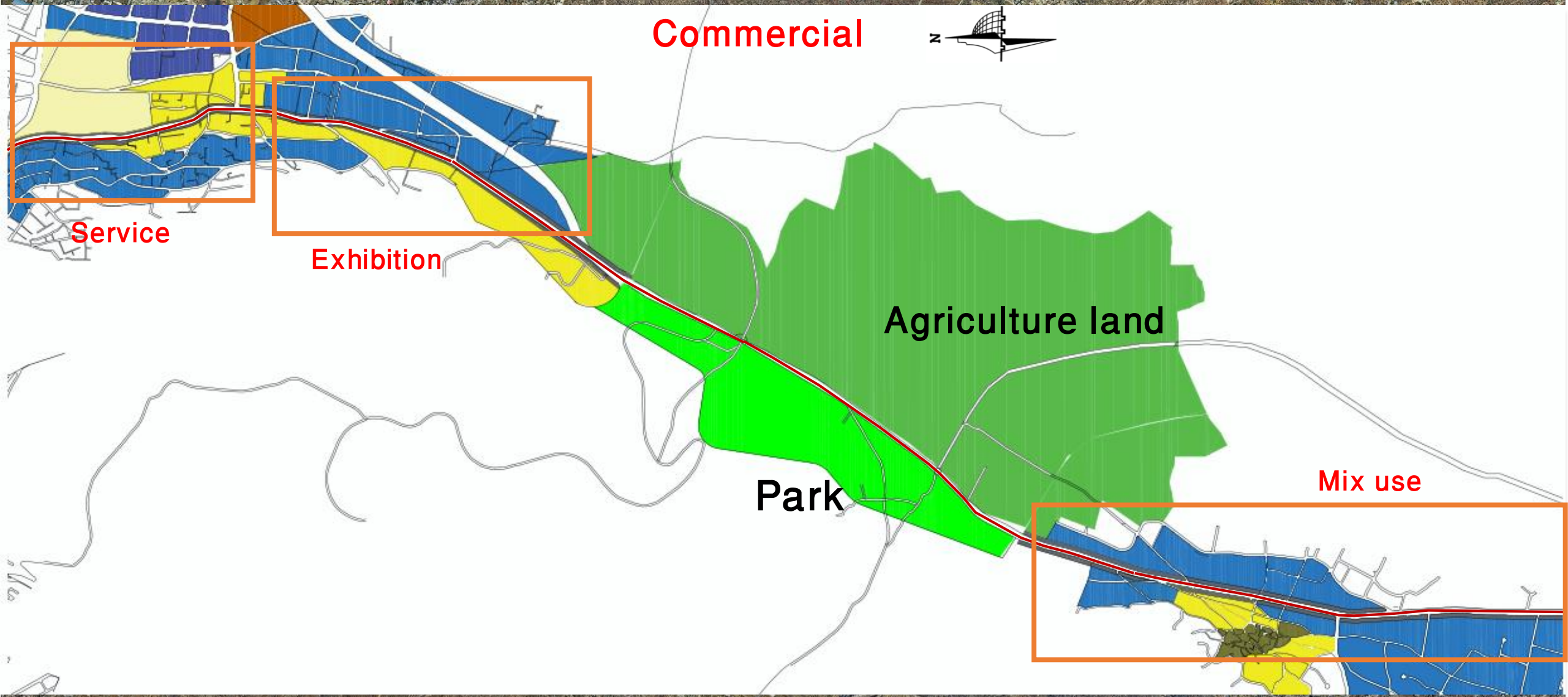
Allow truck to pass in specific times





- Detailed plan
- Land use
  - Transportation

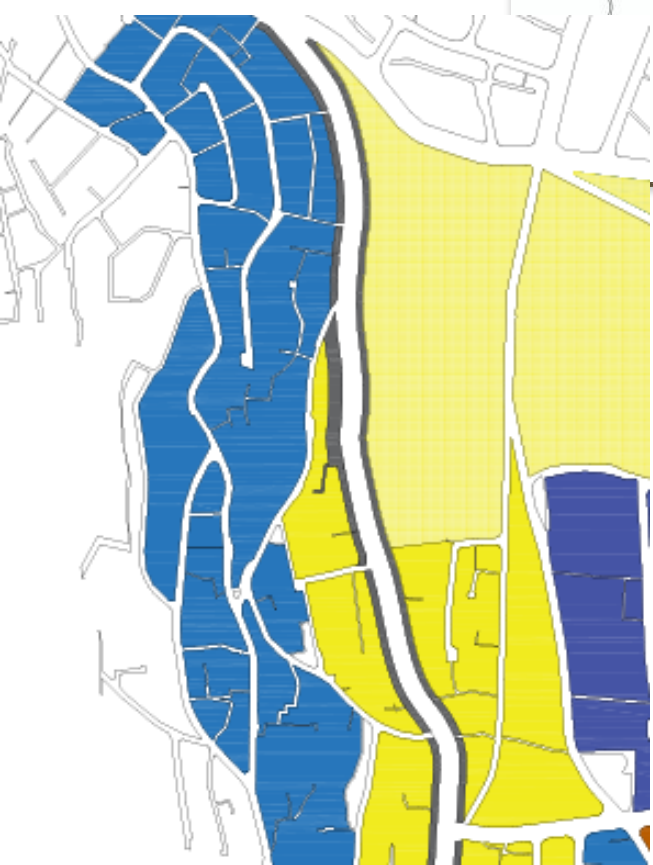
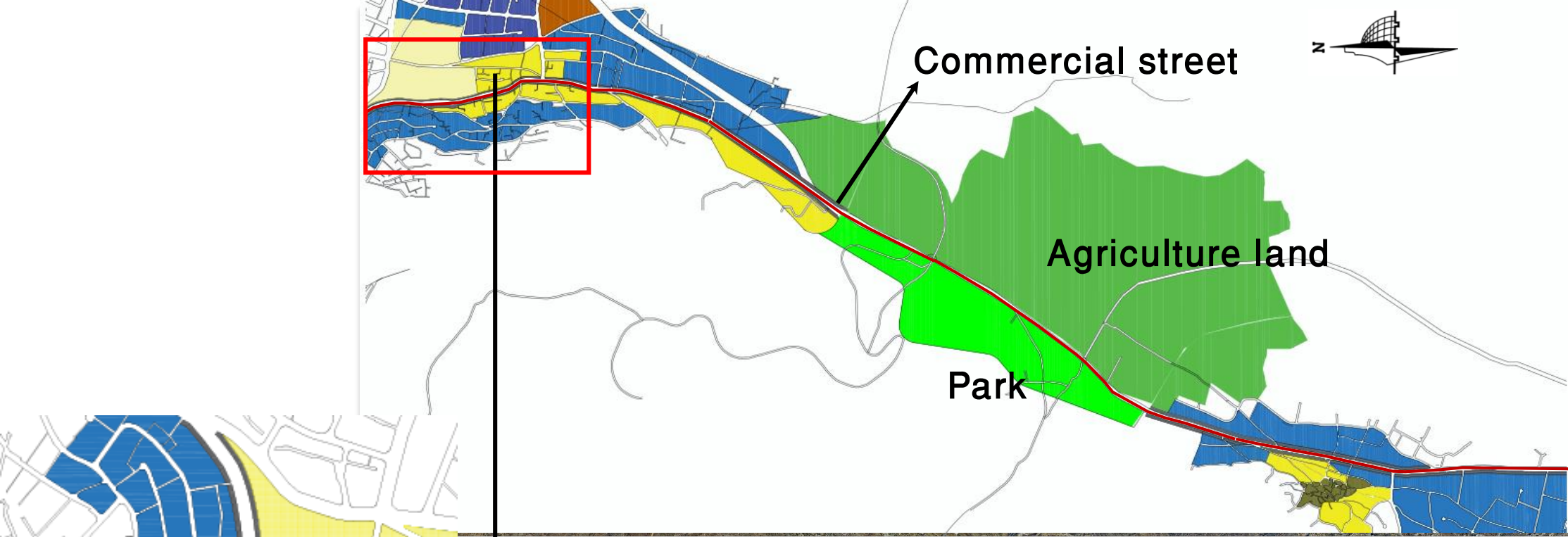




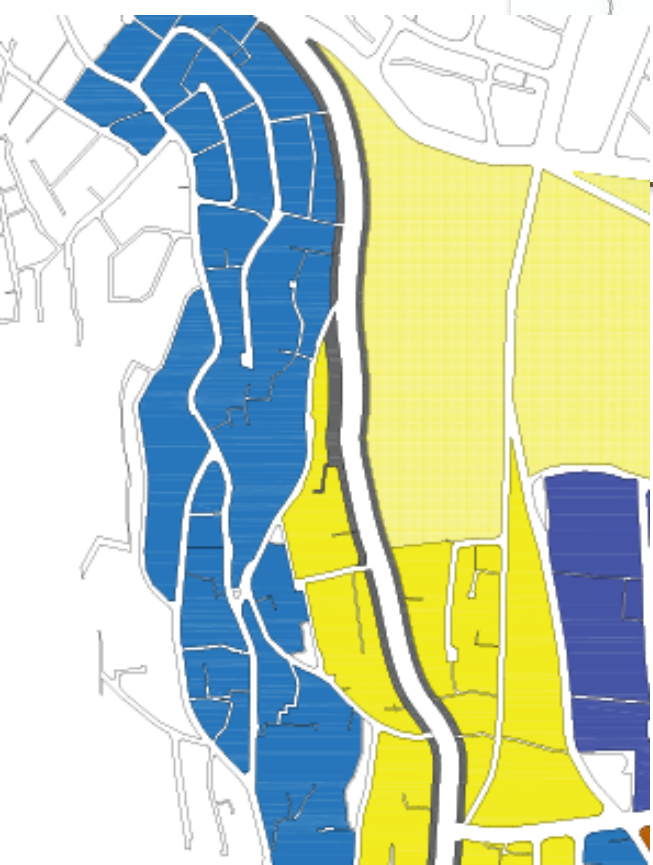
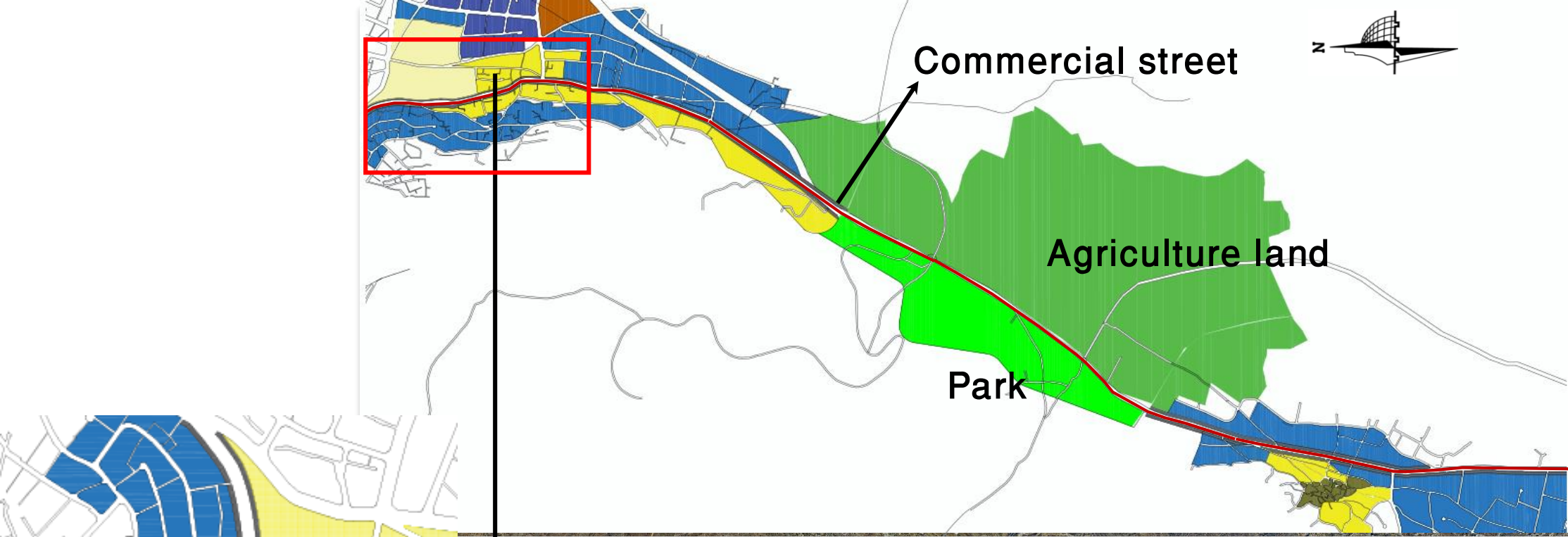
-  Residential C
-  Residential B
-  Balata camp
-  Street study



-  Residential C
-  Residential B
-  Balata camp
-  Street study



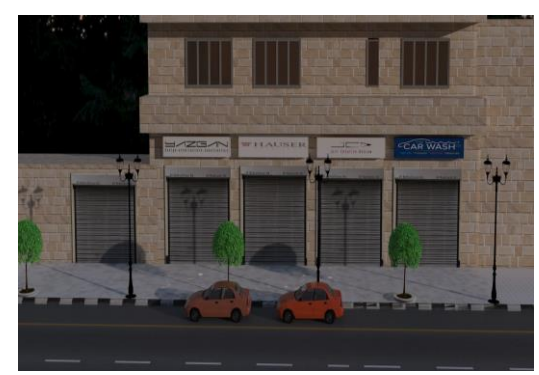
Services  
Mix use (1<sup>st</sup> floor : Commercial  
other floor : residential )  
NO. of floor : 5 floor



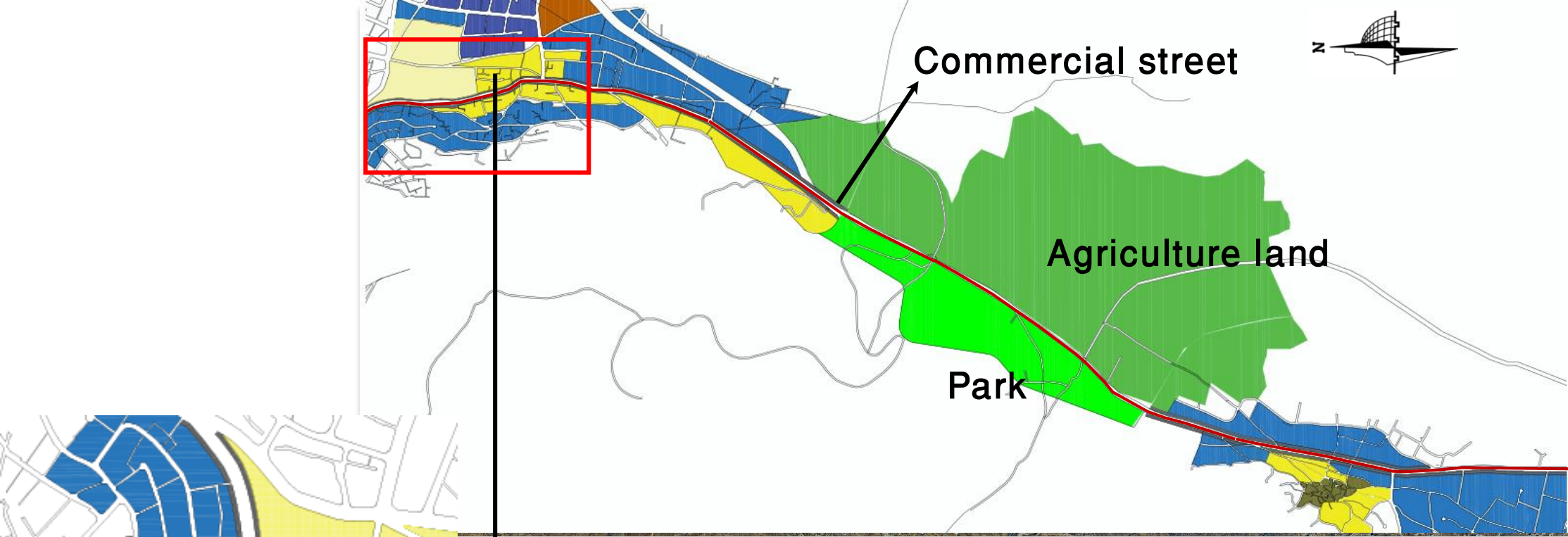
Unification of building material.  
Planting and reconstruction sidewalk.  
Beautify the façade of balata camp  
that are oriented toward the street.



Before



After



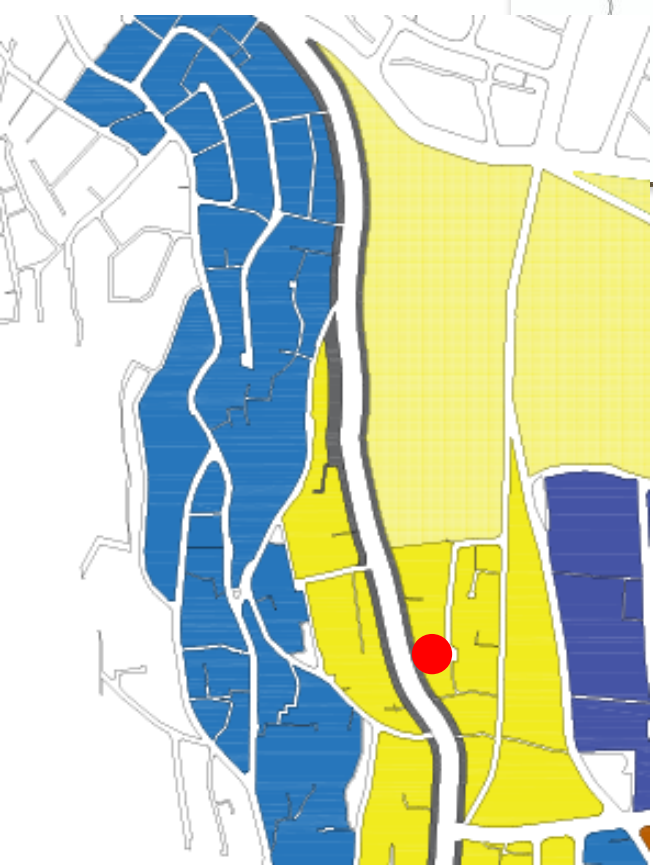
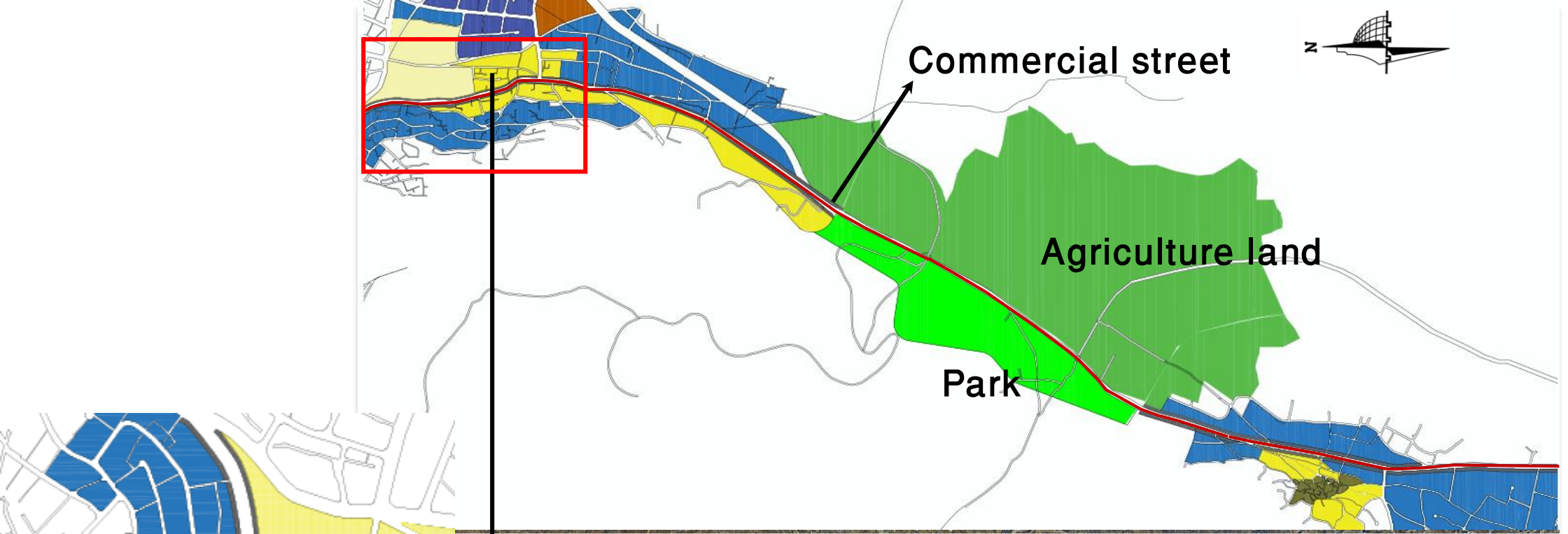
Unification of building material.

Planting and reconstruction sidewalk.

**Beautify the façade of balata camp  
that are oriented toward the street.**

# Section

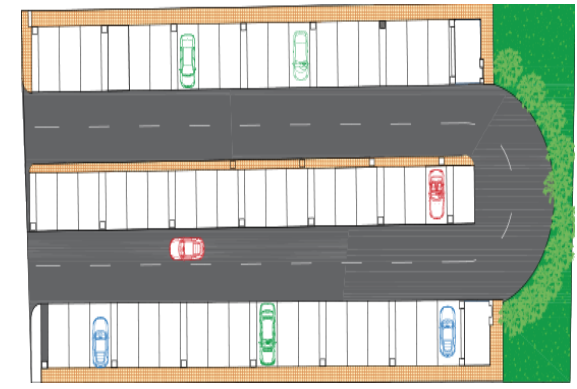




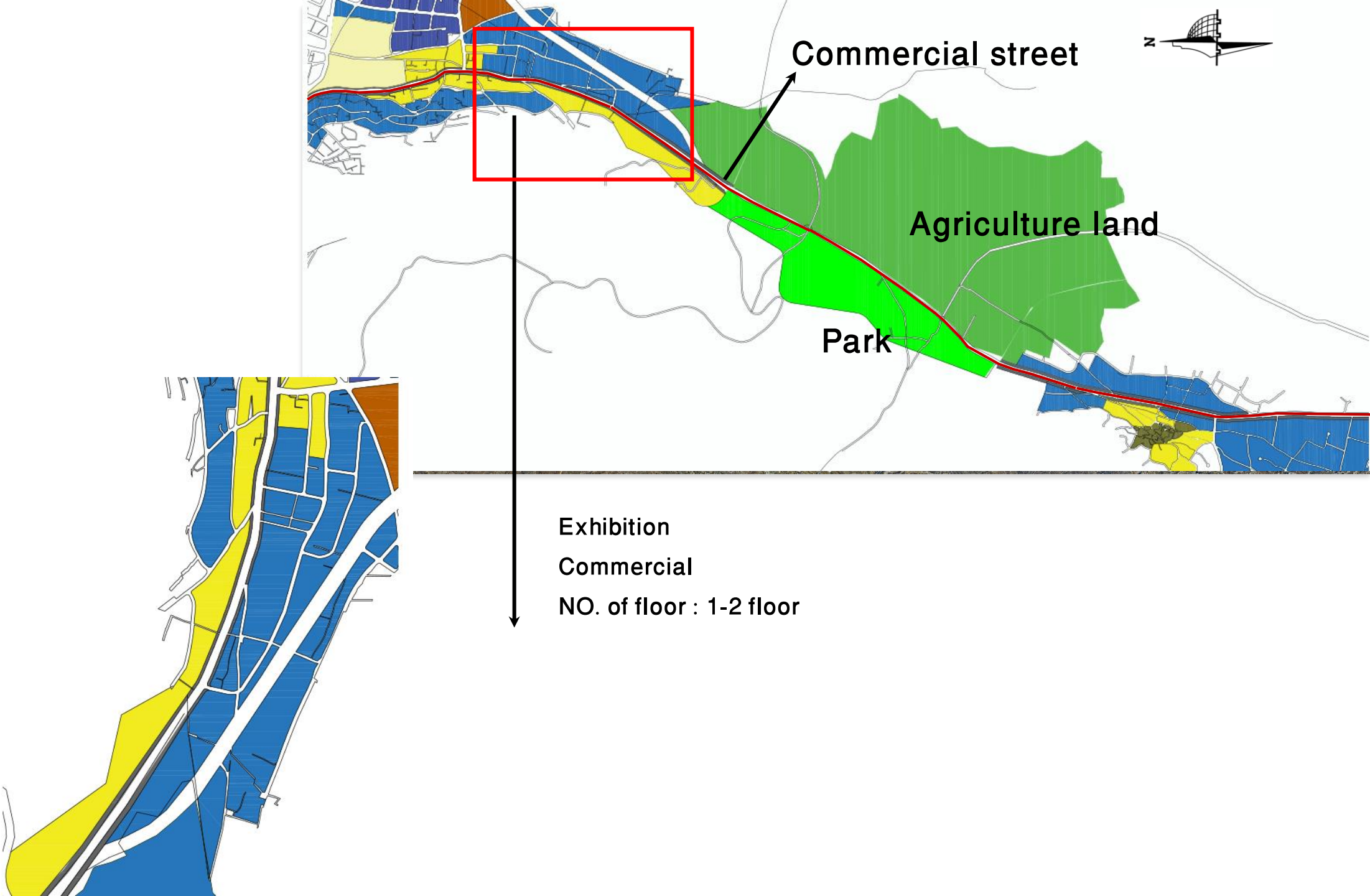
Providing car parking

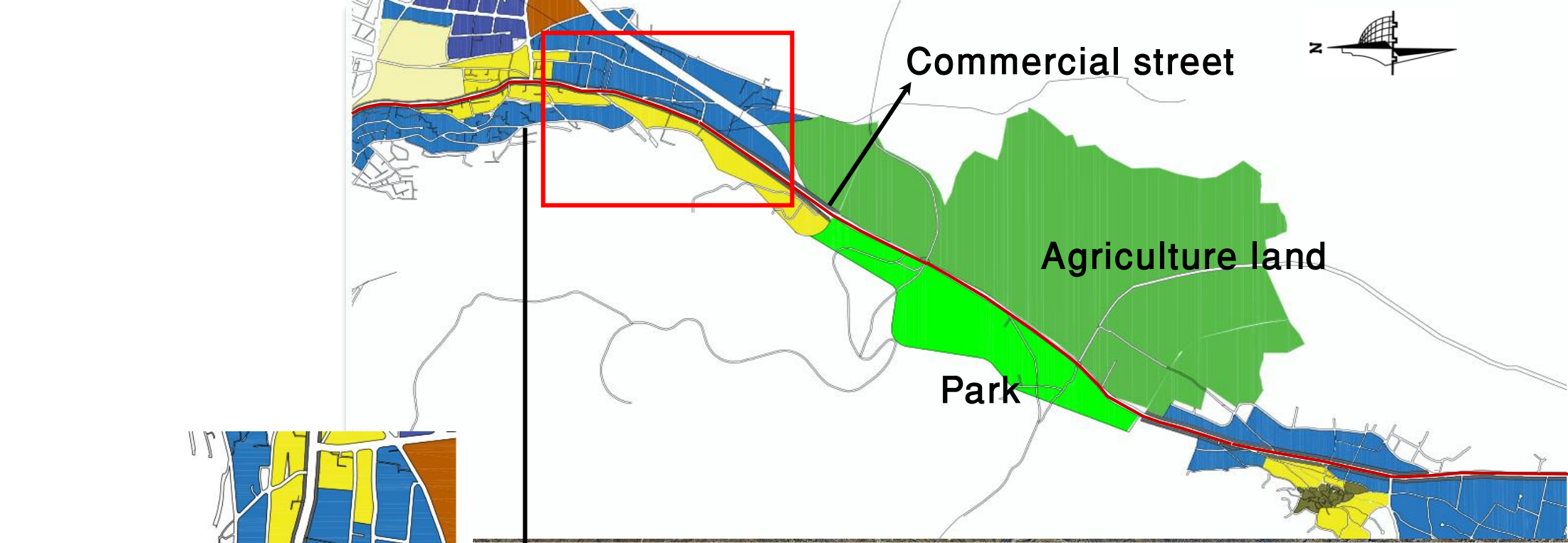


Before



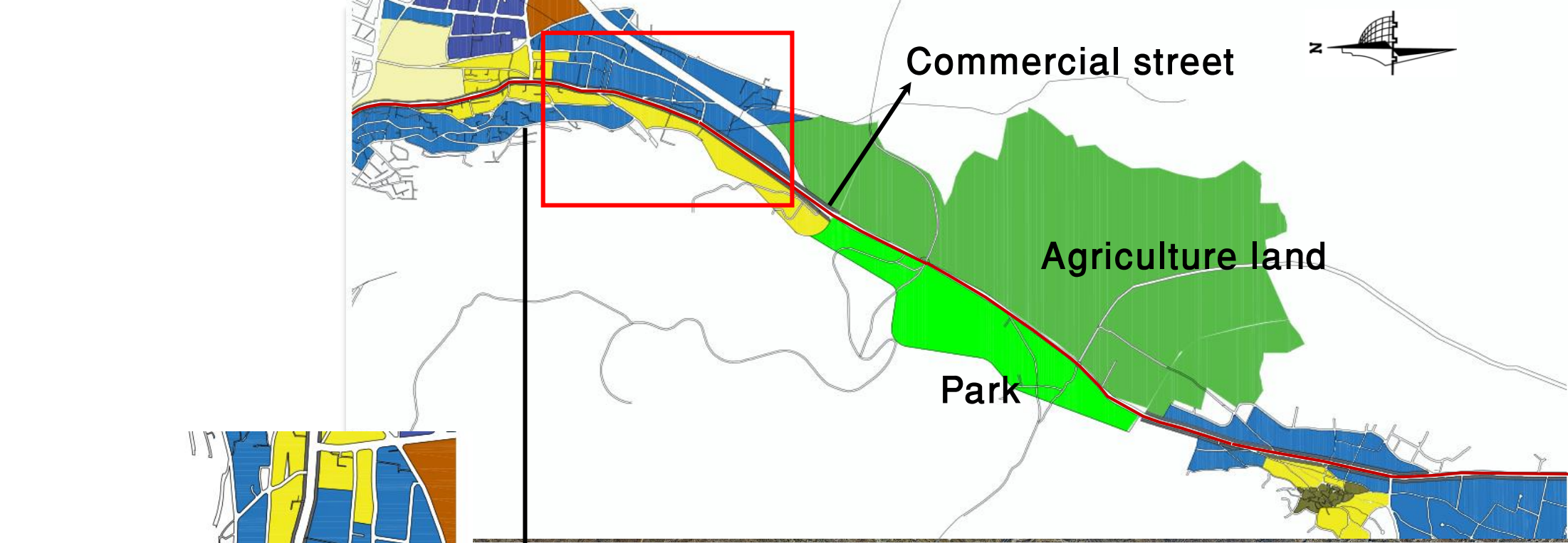
After





Transfer of factories to the industrial zone  
Reconstruction sidewalk





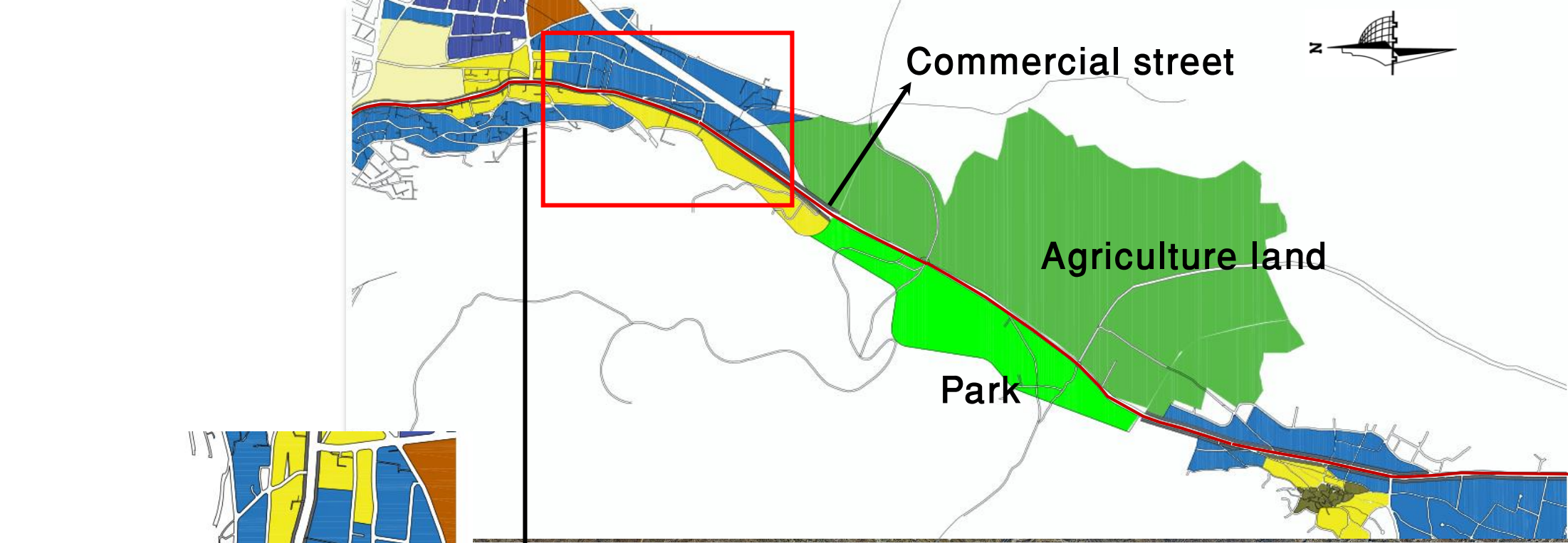
Transfer of factories to the industrial zone  
Reconstruction sidewalk



Before



After



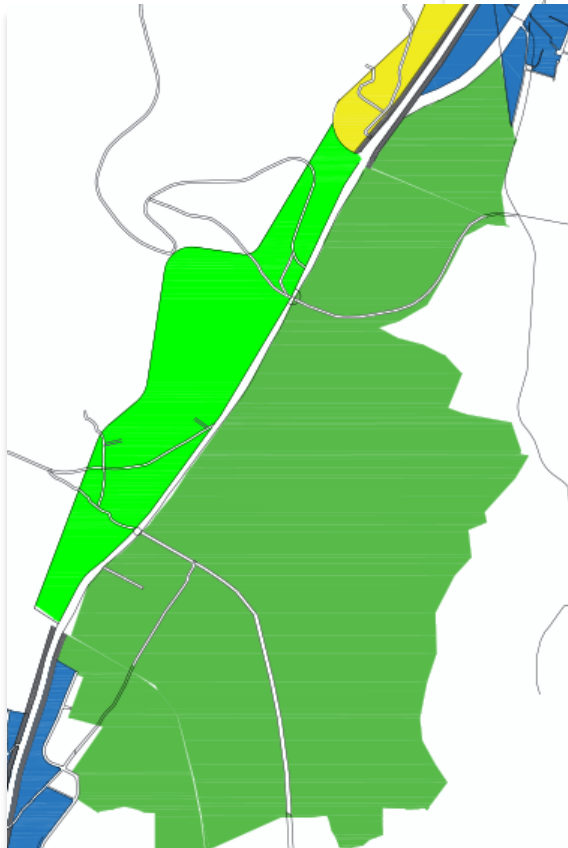
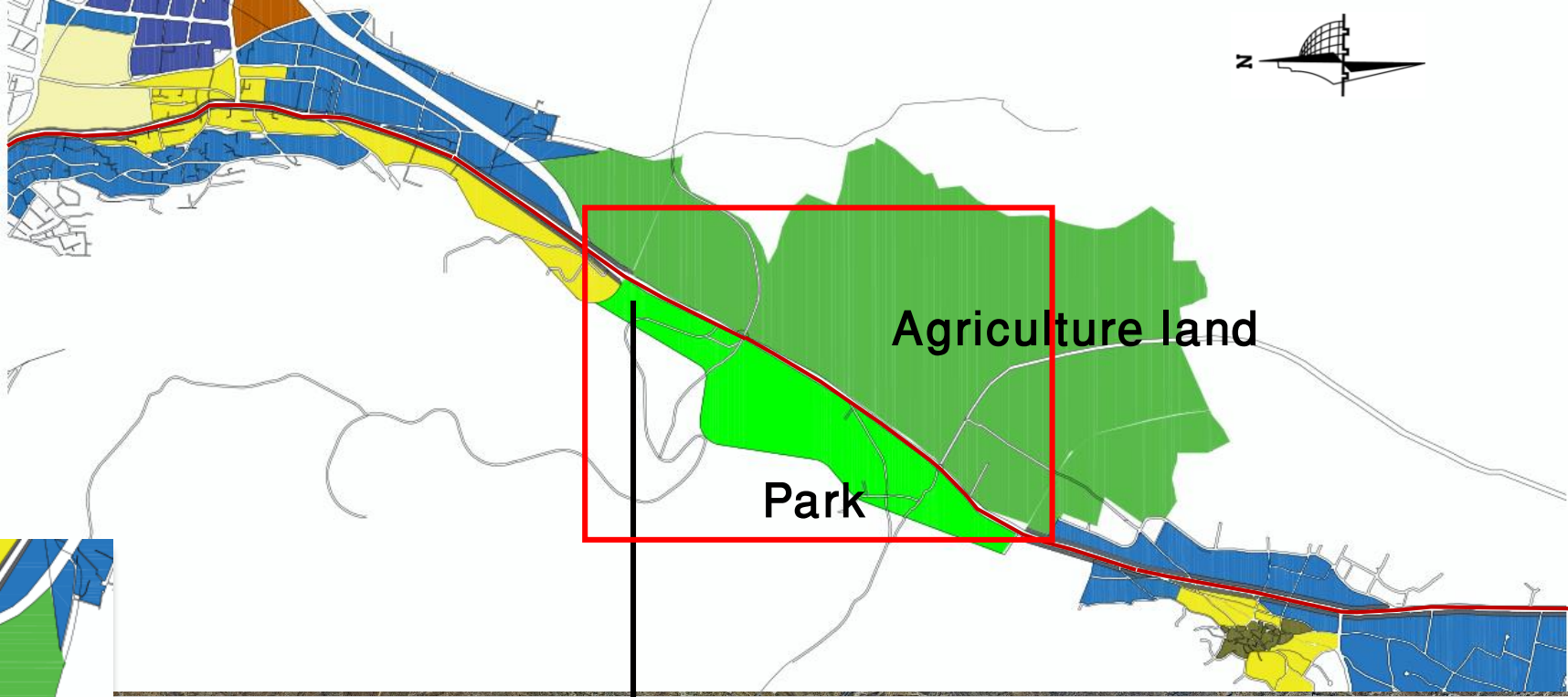
Transfer of factories to the industrial zone  
Reconstruction sidewalk



Before



After



**Restriction on howara plain and encouraging agriculture investment in it.**

Limit the expansion of quarries and built green belt

(and transfer to restaurant)

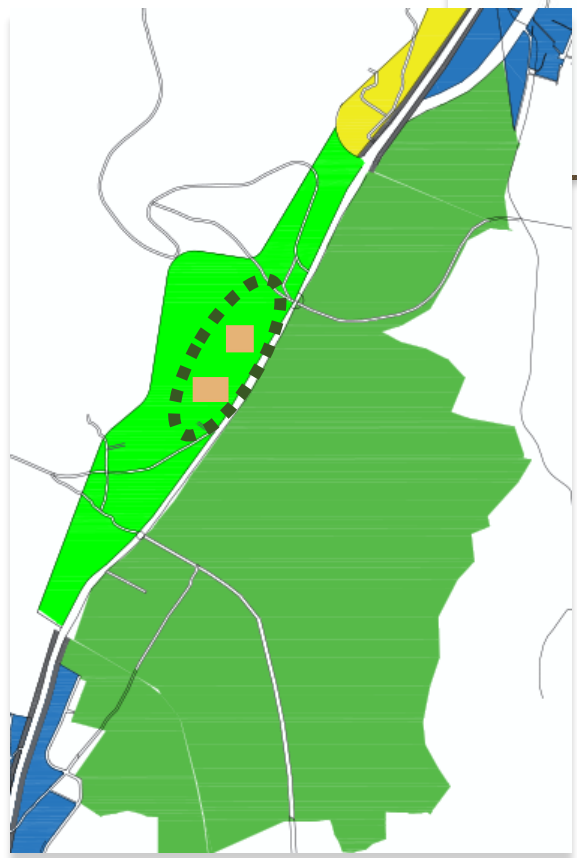
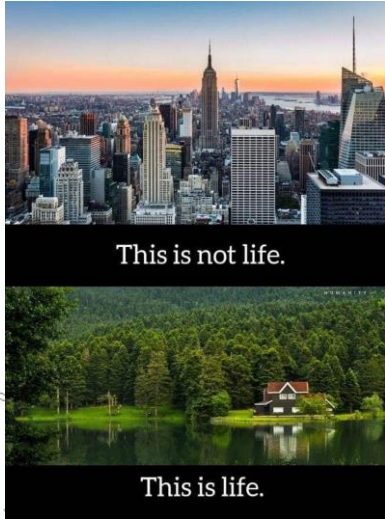
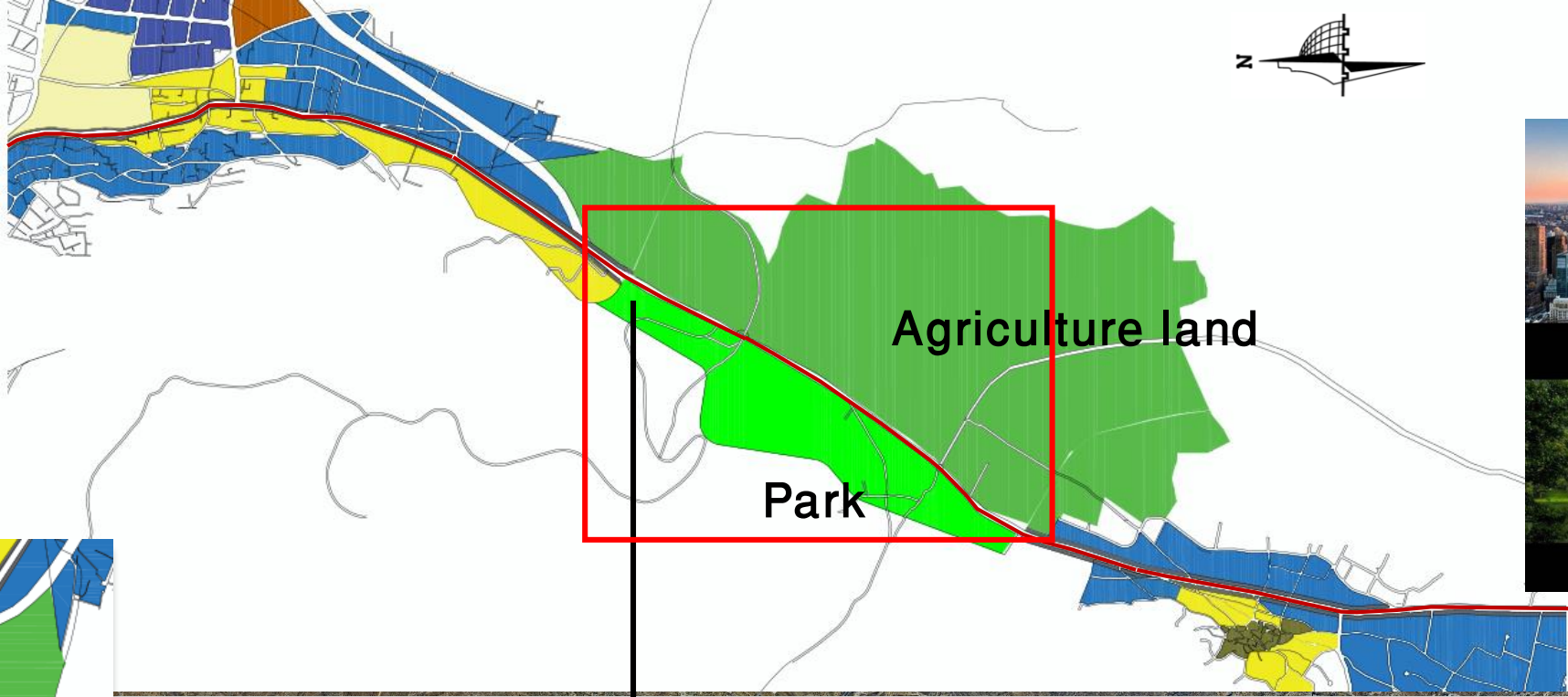
Consolidation of ads on median



**Before**



**After**

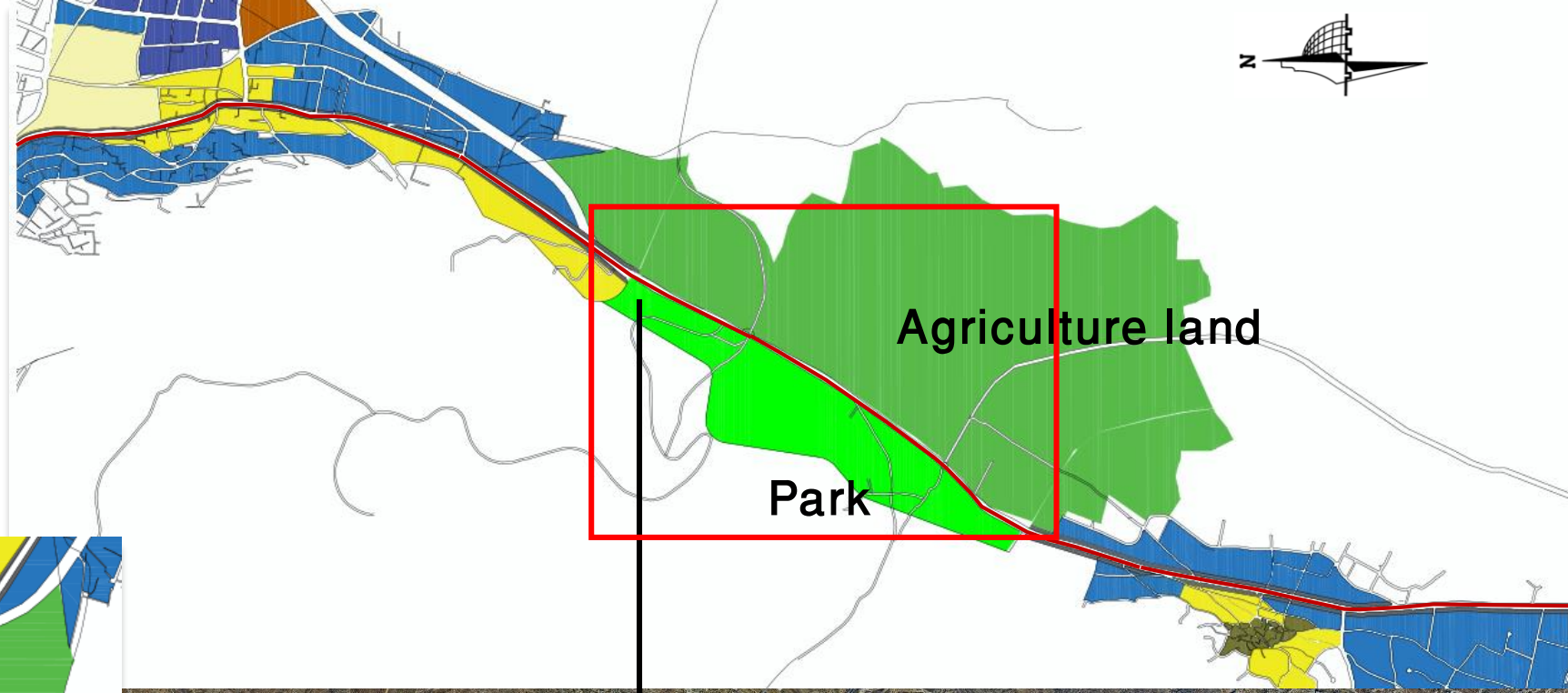


Restriction on howara plain and encouraging agriculture investment in it.  
**Limit the expansion of quarries and built green belt**  
**(and transfer to restaurant)**  
Consolidation of ads on median



Before

After



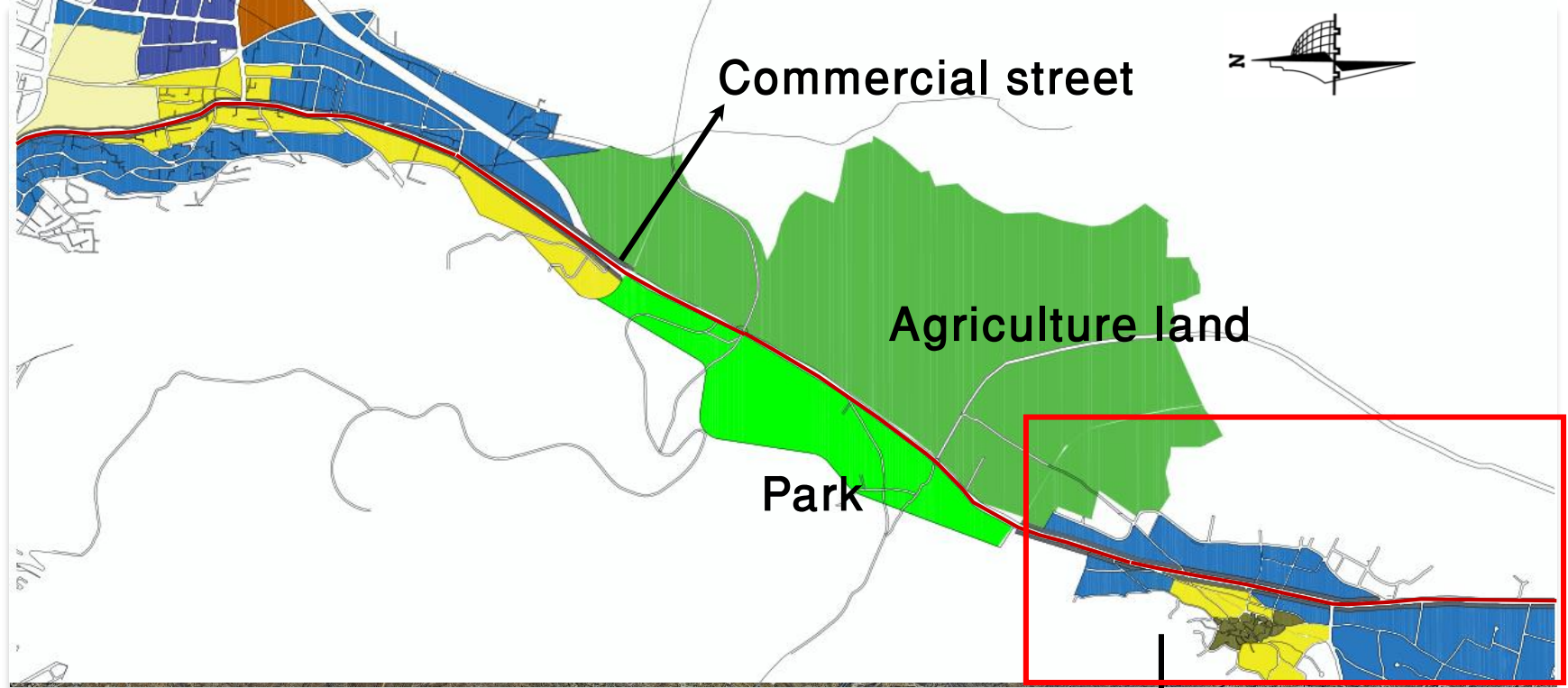
Restriction on howara plain and encouraging agriculture investment in it.  
Limit the expansion of quarries and built green belt  
(and transfer to restaurant)  
Consolidation of ads on median



Before



After

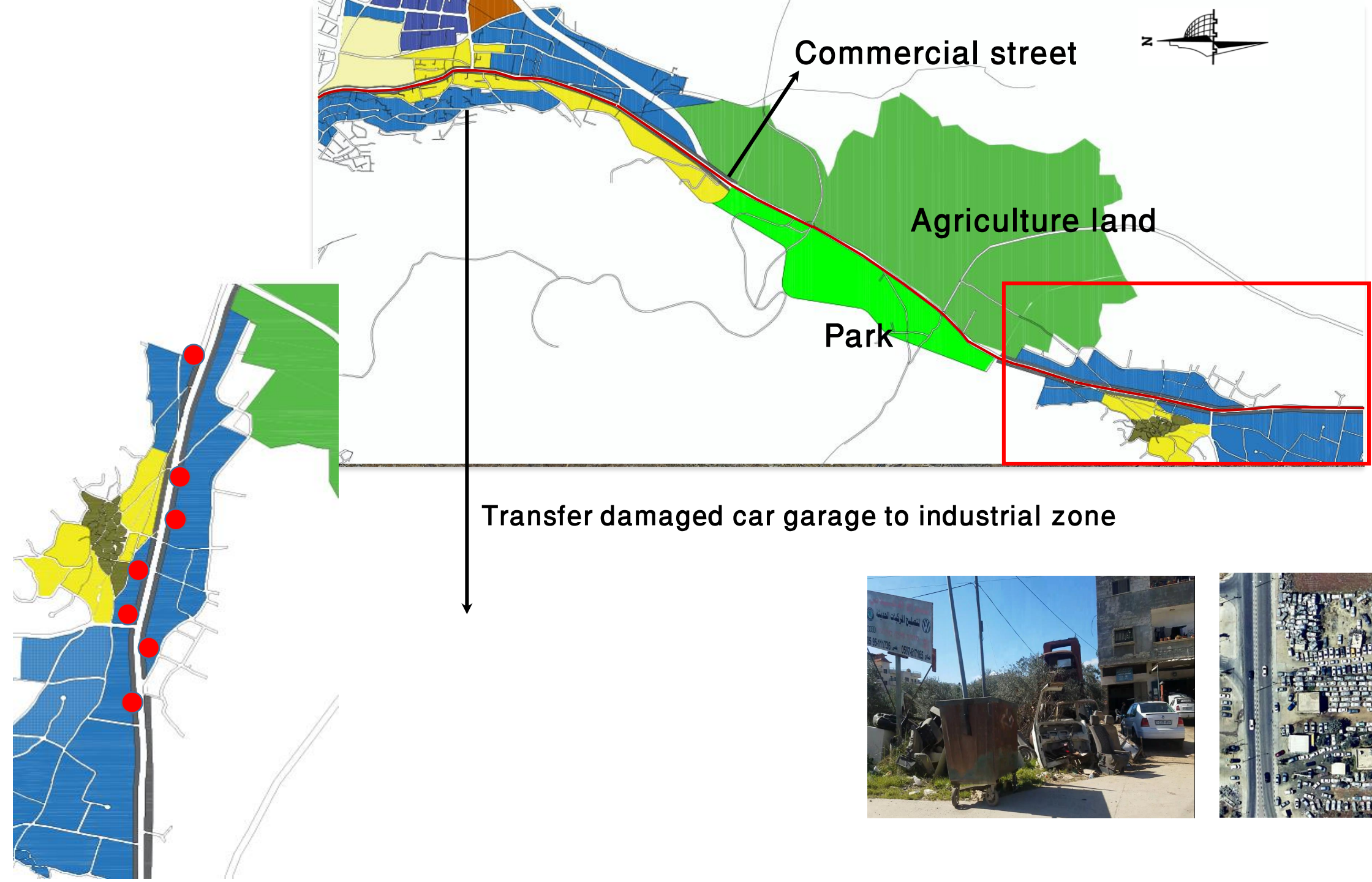


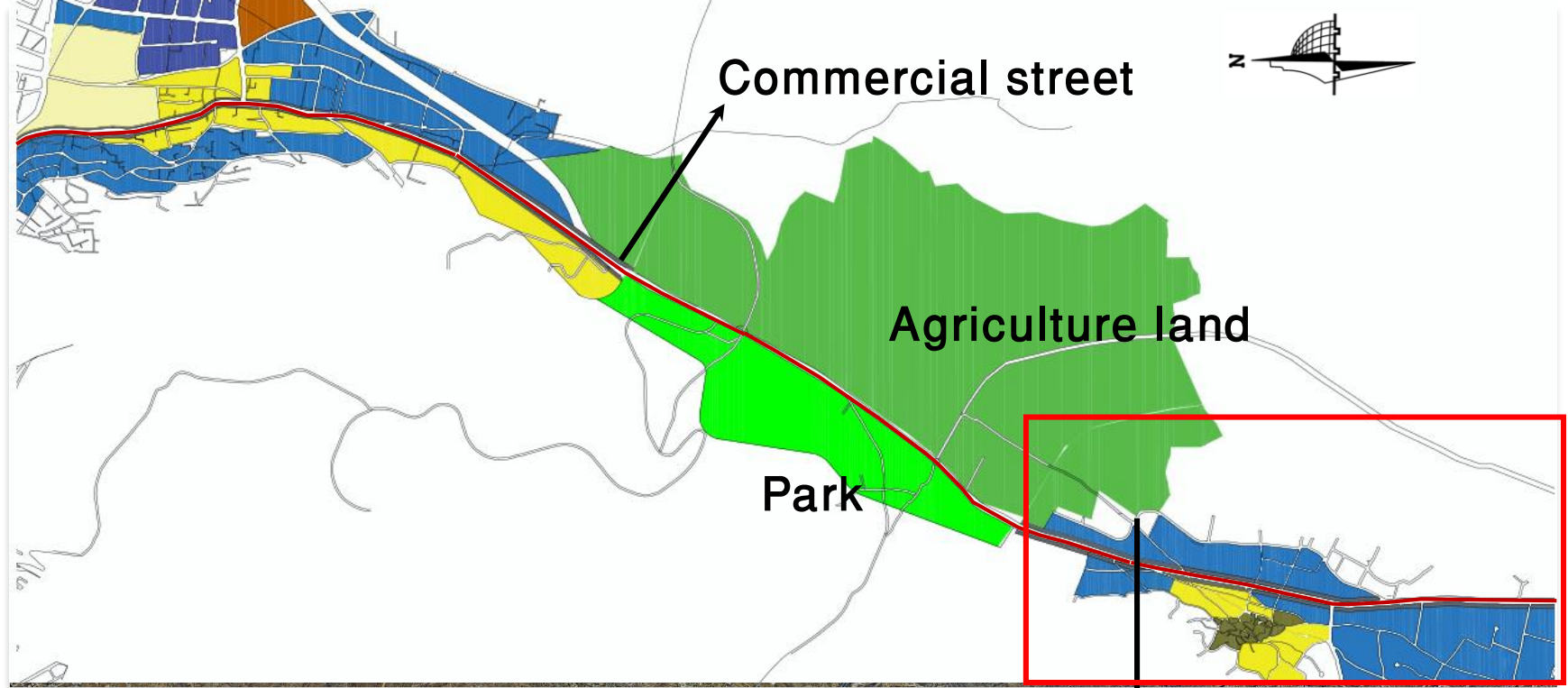
**Commercial street**

**Agriculture land**

**Park**

**Commercial  
Mix uses  
NO. of floor : 5-7 floor**





Emergency and police unit

